

NORTH PEORIA GATEWAY 303

PLANNED COMMUNITY DEVELOPMENT

Rezoning Application

3RD SUBMITTAL: AUGUST, 2024



PRESENTED BY:



Planning + Landscape Architecture



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TABLE OF CONTENTS

- 1. PROJECT INTRODUCTION1
 - The Arizona State Land Department.....1
- 2. LEGAL DESCRIPTION2
- 3. SITE LOCATION AND CONTEXT2
 - Subject Site2
 - Context.....2
 - Service Area Boundaries2
- 4. GENERAL PLAN CONFORMANCE2
- 5. PROPOSAL6
 - 1. Annexation Request.....6
 - 2. Initial Zoning.....6
 - 3. Rezoning6
- 6. INFRASTRUCTURE.....6
 - Street Circulation.....6
 - Water and Wastewater.....6
 - Drainage.....6
- 7. REZONING JUSTIFICATION7

TABLES, FIGURES, & APPENDICES

- Table 1: 2040 General Plan Land Use Summary3
- Exhibit 1: Vicinity Map10
- Exhibit 2: Existing & Proposed Zoning11
- Exhibit 3: Development Units Plan12
- Exhibit 4: Development Parcels13
- Exhibit 5: Existing Site Conditions Map14
- Exhibit 6: Existing General Plan 204015
- Appendix A: Legal Description.....16
- Appendix B: North Peoria Gateway Standards and Guidelines Report17

1. PROJECT INTRODUCTION

This application represents a request to facilitate the rezoning of approximately 1,618 acres of and the annexation of 458 acres of State Trust Land (STL) located generally at the intersection of Jomax Road and the Loop 303 Freeway (“Site” or “Property”). The majority of the Site is within the jurisdictional authority of the City of Peoria, with approximately 458 acres currently within Maricopa County. The request seeks the following:

- Annexation of 458 acres from Maricopa County into the City of Peoria
- Rezone the overall property to Planned Community District (“PCD”) to allow for a variety of residential and non-residential land use types

The Site extends across a large area that straddles the recently completed Loop 303 Freeway corridor in the rapidly developing northern Peoria sub-market. The Freeway represents an integral component in establishing prime opportunities for employment, commercial services and diverse housing opportunities. The site includes, or is proximate to, existing regional roadways, utility infrastructure, and facilities that further promote the viability of the property for development. As a result of proximity to existing City of Peoria (“City” or “Peoria”) and EPCOR services and compatible adjacent zoning, the applicant recognizes the justification for the annexation and zoning request. This proposal is in alignment with Peoria’s recent update to the General Plan and will enable the City and Arizona State Land Department (“ASLD”) to continue their close partnership in promoting a shared vision for Peoria.

The Arizona State Land Department

ASLD manages approximately 9.2 million acres of State Trust Land in Arizona. Since 1915, the ASLD’s mission has been to manage the assets of a multi-generational perpetual trust in alignment with the interests of the Trust’s 13 public beneficiaries and Arizona’s future. The mission statement of the ASLD is as follows:

To responsibly manage the assets of multi-generational perpetual Trust in alignment with the interest of the Beneficiaries and Arizona’s future.

State Trust land is often misunderstood in terms of both its character and management. Trust land is different from public land such as parks or National Forests in that the lands must be managed to generate revenue for Arizona’s K-12 schools and 12 additional public service beneficiaries. The Trust accomplishes its mission through the sale and lease of Trust lands for grazing, agriculture, mining and development.

ASLD, serving as the fiduciary for the Trust, is required by the Arizona Constitution to receive maximum value for the sale or lease of Trust lands for the benefit of the Trust. Given this Constitutional mandate, it is incumbent upon ASLD to carefully plan these properties to maximize their ultimate value. Accordingly, ASLD desires to work with the City to reposition the translational entitlements associated with the property, so it is appropriately zoned in a manner similar to the adjacent area and that will allow the land to develop in response to market demands.

Pursuant to Arizona Revised Statutes Title 9, §471.A.1, annexation of State Trust land requires the approval of the State Selection Board and the State Land Commissioner. To this end, on July 17, 2019, the State Selection Board approved the City’s proposed annexation of the subject State Trust land. This crucial step allows Peoria to begin its normal and customary process of annexing the Site into the city limits.

The Zoning Entitlement Process

Because of the shared desire between the City of Peoria and ASLD to bring this area wholly into the City limits and rezone this parcel in a manner that is compatible with nearby neighborhoods and meets the regional commerce potential of the Loop 303 corridor, the applicant is initiating three cases for consideration: Annexation, Initial Zoning for the annexed property, and Rezoning of the property to Planned Community District (“PCD”). Because ASLD, serving as the fiduciary for the Trust, does not operate in the same manner as private property owners when it comes to planning and entitlement of land this project narrative outlines justification for the proposed modifications.

2. LEGAL DESCRIPTION

A legally described boundary for the property is provided as *Appendix A: Legal Description*.

3. SITE LOCATION AND CONTEXT

Subject Site

The Site is approximately 1,618 gross acres of undeveloped land and is located between the El Mirage Road alignment on the West and the 109th Avenue alignment along the east. The property extends north to Lone Mountain Parkway and south to the Calle Lejos alignment as shown on *Exhibit 1: Vicinity Map*. The property includes portions of Sections 1 and 12 of Township 04 North Range 01 West, portions of 30 and 31 of Township 05 North Range 01 East, and the entirety of Section 36 Township 05 North Range 01 West.

Context

The Site is divided by the Loop 303 Freeway with the Happy Valley Road, Jomax Road and Lone Mountain Parkway interchanges located internal to the property. The two primary wash corridors (Twin Buttes and Caterpillar washes) that cross the site ultimately drain into the Agua Fria River east of the Site. The Beardsley Canal extends through the northern portion of the property, and several high voltage electrical transmission corridors also cross the Site. In general, the site slopes from north to south, with more variable terrain on the eastern portions of the property.

Adjacent properties include a combination of planned communities and vacant lands. The Vistancia and Coldwater Ranch communities comprise the majority of the Site's western and northern edges. A portion of the Site's eastern edge abuts large lot Maricopa County properties, but a majority is characterized as undeveloped or actively being utilized for sand and gravel operations in proximity to the Agua Fria River corridor.

Service Area Boundaries

The Property is serviced by two separate water and wastewater providers. The City of Peoria currently provides service to all portions of the Property located within its jurisdictional limits. The southern portions of the Property located within section 1 & 12 of T04N R01W are currently serviced by EPCOR. The City of Peoria and EPCOR have held preliminary discussion to evaluate a service area map revision that would relocate the boundary to the Beardsley Canal between El Mirage Road and the Loop 303 Freeway to create network and service efficiencies. Recognition of these service provider areas will influence ultimate land use and serviceability of future development, requiring ongoing coordination throughout the build-out of the Property. A dwelling unit maximum for the City of Peoria water and wastewater service boundary anticipates a revision to the existing boundary. An assessment of existing and proposed water and wastewater services may be found in Section 6 of this document.

4. GENERAL PLAN CONFORMANCE

The City of Peoria General Plan (2040) serves as a blueprint for policy and land development within the City. The purpose of the Plan is to provide guidance to the City Council, Planning and Zoning Commission, staff, developers and residents with regards to land use decisions. This guidance is facilitated through a detailed documentation of City goals, objectives and strategies by which land is designed, developed, and used within the City and its Planning Area.

A recent City initiated amendment to the General Plan processed under separate application includes a new land use designation of 'ASLD Special Land Use'. This land use:

"...provides flexibility to promote new development needed to accommodate economic growth and new businesses so that residents can find jobs in Peoria. The category also provides opportunity for new housing to accommodate the Peoria's expanding population..."

This use designation will apply to the entirety of the subject property.

TABLE 1: 2040 GENERAL PLAN LAND USE SUMMARY

LAND USE CATEGORY	ACRES	MAX DENSITY	MAX UNITS
RURAL RESIDENTIAL	16.8	1.0	17
TRADITIONAL RESIDENTIAL	358.7	5.0	1,794
SUBURBAN RESIDENTIAL	47.9	12.0	575
URBAN RESIDENTIAL	74.8	N/A	1,496
MIXED USE - NEIGHBORHOOD VILLAGE	290.8	20.0	5,816
MIXED USE - COMMUNITY DISTRICT	102.5	N/A	4,084
COMMERCIAL	46.2	0.0	0
EMPLOYMENT BUSINESS COMMERCE	471.6	0.0	0
PARK / OPEN SPACE	114.0	1.0	114
WATERWAYS	94.5	1.0	94
TOTAL	1,617.7		13,989 ⁽¹⁾

(1) The achievable density indicated by the General Plan within the City of Peoria Water and Wastewater Service Area boundary is 10,189.

Prior to the re-designation of the subject property to the ASLD Special Land Use category, the General Plan Land Use Map identified a variety of land use types across the property. *Table 1: 2040 General Plan Land Use Summary*, provides an analysis of these land use types within the subject property by quantifying the approximate acreage of each land use and applying residential densities as specified in the General Plan document. This analysis yielded the PCD density cap of 13,989.

The following General Plan Land Use Character Matrix includes language from the Land Use Categories section of the General Plan that describes the characteristics of each of the various land use designations previously reflected within the subject property.

2040 General Plan Land Use Character Matrix

**Maximum Density
per General Plan**

Waterways

DENSITY RANGE: 1 du/ac.
ZONING DISTRICTS: PAD and PCD

Water areas identified on the land use map can be used for outdoor recreation, events, preservation of natural resources, or for quality of life and public health. This category includes private and public lakes and canals, floodways, the Agua Fria River and New River.

**Max.
1 du/ac**

Park / Open Space

DENSITY RANGE: 1 du/ac.
ZONING DISTRICTS: PAD and PCD

The Park/Open Space category accommodates the full range of public, private and semi-private passive and/or active park and open space and recreational opportunities. There are generally two types of Park/Open Space land uses: Useable Open Space and Natural Open Space. Natural Open Space applies to locations set aside to preserve natural, scenic and/or significant environmental or cultural sites. It is intended that lands within this category remain as permanent open space and often are the result of actions to conserve part of a property in return for placing developable intensity in a less environmentally sensitive area. Low-impact recreational activities, such as hiking, equestrian riding, or mountain bicycling trails may be suitable for these sensitive areas.

**Max.
1 du/ac**

2040 General Plan Land Use Character Matrix (cont.)

Maximum Density per General Plan

Rural Residential

DENSITY RANGE: 0-1.0 dwelling units per acre with lot sizes typ. above 1 acre.
ZONING DISTRICTS: AG, SR-43, SR-35

The Rural Residential designation identifies areas of large residential lots in areas with a semi-rural or agricultural character. Most rural residential areas were developed prior to annexation to the city, or during the early years of city development and expansion starting in the later 1980s. These areas developed organically in smaller tracts of land. They highlight the City's growth over the years and are a reminder of our agricultural past. They may have alternative or reduced streetscape standards in recognition of the desired character. In some areas, the land uses are predominantly agricultural and occupy larger areas for the raising of crops, fowl and/or livestock.

**Max.
1 du/ac**

Traditional Residential

DENSITY RANGE: 2.0-5.0 du/ac. Lot sizes typ. range from 7,000 - 18,000 sq. ft.
ZONING DISTRICTS: R1-18, R1-12, R1-10, R1-8, and PAD

Traditional Residential supports a suburban lifestyle with increased density while maintaining a detached single-family character. Traditional Residential areas encompass a diversity of neighborhood types, from older subdivisions to newer master planned areas. These areas feature moderately sized lots with detached single-family homes.

**Max.
5 du/ac**

Suburban Residential

DENSITY RANGE: 5.0 - 12.0 du/ac with housing options ranging from small-lot single family (attached or detached), townhomes, casitas, and other types of multi-family.
ZONING DISTRICTS: R1-8, R1-6, RM-1, and PAD

This category supports a suburban lifestyle and provides an appropriate transition between less intense residential areas or non-residential areas. These areas of the City are a more intense residential land use, and residences may have limited private outdoor space, thereby relying on common open space amenities for recreation and connections with nature.

**Max.
12 du/ac**

Urban Residential

DENSITY RANGE: Exceeds 12 du/ac and consists of range of ownership and rental housing options including townhomes, casitas, and other traditional types of multi-family.
ZONING DISTRICTS: RM-1 and PAD

Urban Residential areas enjoy a high level of access, and are located near services, employment centers and transportation corridors. Multi-family residential development is desirable within these areas. Urban Residential is where the highest multi-family residential density development is appropriate. The density range is intended to provide for multi-story apartments, condominiums, and townhouses which are close to employment and service areas. This category is traditionally located along transportation corridors and serves to buffer Suburban Residential areas from non-residential areas or Mixed Use areas. Substantial common open space, recreational amenities and on-site support facilities serve the residents.

**No
Max.**

2040 General Plan Land Use Character Matrix (cont.)

Maximum Density per General Plan

Mixed-Use

Neighborhood Village Center (NVC)

DENSITY RANGE: Residential components typ. range from 12-20 du/ac.
ZONING DISTRICTS: PAD and PCD

NVCs are higher intensity locations along transit corridors, either existing or future planned expansions, and are a cluster of commercial, office, high density residential, civic and institutional uses, and employment. The NVC development pattern offers a more sustainable land use strategy as buildings are pulled to the sidewalk, often with zero lot lines, and parking is provided either on-street or as structures which are screened from the street, allowing for a more efficient and fine-grained use of the land. The intensive mix of uses allows for the integration of public and private spaces anchored in a walkable environment. NVCs are stop and stay developments where employment is supported by contiguous residential units that are conveniently accessible by walking or biking. Residents and visitors are able to walk to retail, entertainment, public gathering spaces, and other office or commercial services. These areas easily cater to residents who cannot or prefer not to drive as a primary means of transportation, such as empty nesters or young professionals.

**Max.
20 du/ac**

Mixed-Use

Community District

DENSITY RANGE: Residential density typ. exceeds 20 du/ac.
ZONING DISTRICTS: PAD and PCD

Community Districts are high-intensity centers supporting a variety of commercial activity serving the needs of the region and multifamily housing. Due to the regional draw and concentration of uses, these should be located adjacent to freeways. Occasionally, Community Districts may be located along transit corridors served by multiple arterials when they are over 50 acres. As a regional destination for employment, shopping, and entertainment, these areas should be well connected with adjoining projects and be transit-oriented in design. Community Districts provide an urban environment that offers a pedestrian-focused internal street network, tall buildings pulled to the street, multiple outdoor amenities such as greens, plazas, and water features, and pedestrian-scaled detailing such benches, uplighting, and decorative paving. Parking should be located behind buildings, in wrapped parking structures, or otherwise screened from the street and on-street parking is encouraged to help buffer sidewalks.

**No
Max.**

Commercial

ZONING DISTRICTS: C-2, C-3, C-4, C-5, and PAD

Commercial areas typically include large-scale retail uses, grocery stores, specialty stores, and hospitality or entertainment uses. These areas have a wider variety of goods and services than neighborhood shopping areas located in Office and Local Commercial areas. Located along arterial streets for ease of access, Commercial areas are typically auto-oriented developments that often feature internal circulation to get to anchor buildings or pad sites. Due to the regional draw of these areas, the land uses are more intensive, and therefore may not be suited to be adjacent to lower density residential.

**Max.
0 du/ac**

Employment

ZONING DISTRICTS: C-4, C-5, and BPI

These areas provide employment opportunities that contribute to the overall local and regional economy. Employment areas are classified into two separate sub-types, Business Commerce and Industrial. Peoria strives to be a community that supports a culture of entrepreneurship. By allocating land within the city that allows for business expansion dedicated solely to employment uses, supportive or complimentary uses may be collocated near each other for synergy in sharing of technology infrastructure and information. Business Commerce areas contain business offices, corporate headquarters, incubator space, research and development, and light industrial uses with complementary commercial uses within a campus format that features common landscaping and centralized access points. These areas are typically low intensity in scale and land use intensive. Site planning should balance siting of the building for visibility with appropriate screening of loading bays, truck access, screened storage areas, and employee parking.

**Max.
0 du/ac**

5. PROPOSAL

The overall intent of these applications is to facilitate the annexation of the non-incorporated portion of the Site, set initial translational zoning within the annexation portion, and then subsequently rezone the entire property consistent with the goals, policies and objectives of the General Plan. For the purposes of presenting a land use proposal consistent with the goals and objectives of the City's General Plan, this development proposal closely mirrors the land use types reflected on the 2040 Future Land Use exhibit prior to the recent re-designation to the ASLD Special Land Use category.

As there is no associated master developer for the project, the following requests are meant to bring the Site closer to market-ready conditions. Each of the applications are described in more detail below:

1. Annexation Request

The annexation of approximately 458 acres of the Site into the Peoria city limits is seen as beneficial to both the State and City for the following reasons that are compatible with Peoria's vision for future growth and services within the community:

- Effectively managing urban development
- Allowing for the efficient provision of services
- Managing traffic circulation
- Creating a stronger community
- Protecting the City's borders

The annexation area is generally described as the east half of Section 1 (T04N, R01W) and the northeast quarter-section of Section 12 (T04N, R01W)

2. Initial Zoning

The annexation area is currently zoned within Maricopa County as Rural Residential (RU-43). The RU-43 district's principal purpose is to conserve and protect farms and other open land uses, foster orderly growth in rural and agricultural areas, prevent urban and agricultural land use conflicts, and encourage sustainable development.

Pursuant to Arizona Revised Statutes (ARS) §9-462.04(E), the City must assign initial zoning to the property within six (6) months of effective date of annexation. Additionally, the corresponding initial zoning district cannot permit densities or uses more intense than that provided under the Maricopa County zoning. In essence, the City works to identify

the equivalent or most analogous Peoria zoning district to that granted in the County. Accordingly, upon successful annexation the initial zoning for the property will become Suburban Ranch (SR-43).

3. Rezoning

Within the Peoria General Plan, land use types are correlated with city zoning districts and thereby serve as a guide for the regulatory zoning framework proposed by this application. The current zoning on the property is a combination of SR-43 (areas within the City of Peoria) and RU-43 (areas within Maricopa County). This application requests that the entirety of the property be rezoned to Planned Community District (PCD), as shown in *Exhibit 2: Existing and Proposed Zoning*. Generalized land uses are identified in the following sections which illustrate the diversity of anticipated residential and non-residential land uses on the Site. Underlying development standards will regulate the intended development characteristics of the Site.

6. INFRASTRUCTURE

Street Circulation

For a summary of existing and proposed infrastructure conditions, please reference Street Circulation Report by Ardurra (August, 2024).

Water and Wastewater

The northern portion of the property contained within the City of Peoria service area shall not exceed 10,189 dwelling units. The southern portion of the property located within the EPCOR service area is planned for 3,800 dwelling units. If the maximum dwelling unit limit for the City of Peoria service area is not met at the time of buildout, units may be allowed to transfer to the EPCOR portion of the site if EPCOR determines it has capacity to provide service to transferred units. For a summary of existing and proposed infrastructure conditions, please reference Water & Wastewater Report by Ardurra (August, 2024)

Drainage

For a summary of existing and proposed drainage conditions, please reference Preliminary Drainage Assessment Report by Ardurra (August, 2024).

7. REZONING JUSTIFICATION

1. What type of development and uses are proposed by the rezoning request?

The proposed rezoning request envisions a diverse mix of land uses for the subject property that are in alignment with the City's General Plan. The plan creates opportunities for future residential communities, employment-oriented uses and commercial/retail centers. This broad range of uses and intensity types are appropriate given the proximity of the site to the Loop 303 Freeway corridors that provides access to a regional transportation network.

2. State how your proposal is consistent with the Land Use Plan and other goals, policies and objectives (list each goal, policy and objective and how they are met) of the Peoria General Plan.

Goal (Smart Growth): Focused Growth: Strategically focus new growth into areas of Peoria that enable the achievement of City goals for economic growth, fiscal sustainability, and environmental stewardship, and support the development of new, attractive neighborhoods.

The rezoning will allow for the development of new residential and non-residential opportunities in a region of the City that is appropriate for commerce and employment uses. A network of existing arterial roadways and the freeway corridors, coupled with access to robust infrastructure, will ensure that the proposed land uses will meet the future growth and development goals of the City.

Goal (Smart Growth): Complete Neighborhoods: Offer a range of neighborhoods that offer distinctive, special places to live that are safe and well served by community amenities and gathering spaces.

This rezoning presents opportunities for the establishment of new planned communities that will provide amenities, promote walkability, encourage product diversity and other features that lead to attractive neighborhoods. A blend of housing types and nearby non-residential uses will provide

for an environment of mixed uses that enable future residents to live in proximity to retail services and employment opportunities. The ability to master plan components of the property will enable multi-modal mobility types to include connected bike lanes, multi-use pathways and trail corridors.

Balance Land Uses: Policy LUC-3: Integrate a variety of compatible land uses into new and established neighborhoods to provide residents with convenient access to goods, services, and other community amenities.

Along many edges of the property that abut existing residential communities, the rezoning recommends transitional residential land uses that are compatible in density and type to existing adjacent neighborhoods. New residential development proposals will include provisions for various access types to create efficient means of moving throughout the overall property and between different land uses.

Housing Stock: Policy HS-1: Distribute a variety of housing types throughout the City to expand the choices available to meet the financial and lifestyle needs of Peoria's diverse population.

This rezoning will increase the supply of housing in alignment with the City of Peoria's General Plan which has already established a vision for the density in this area. It also ensures a more efficient and context-appropriate land use pattern than the County's existing SR-43 Zoning District, which requires a minimum of one (1) acre per lot.

3. Discuss your proposal's compatibility with the surrounding land use and zoning patterns. Include a list of surrounding zoning designations, land uses and conditions.

Existing zoning adjacent to the subject property includes significant diversity of district types due to its large area. The property is bounded by existing residential generally along the west perimeter where it abuts Coldwater Ranch, Dos Rios and the Trilogy community of Vistancia. Zoning district types in these areas include R-3, R-2, R1-6 and PCD. Large lot County properties along a portion of the east edge maintain the RU-43, as does many of the undeveloped properties east, south and southwest of the property.

The North Peoria Gateway PCD proposes zoning that will contribute to the mixed-use objectives of the City and ensure for compatible uses along the Project's perimeter. The Project generally proposes residential in areas where there is existing residential, and encourages non-residential uses in areas proximate to the Loop 303 Freeway and where adjacent to existing mining operations. Building heights near existing residential uses have been limited, and residential is restricted adjacent to major employment uses outside of the PCD.

4. Indicate why the current zoning is not appropriate given the surrounding land use, zoning, and factors which have changed since the current zoning was established.

The current zoning includes a combination of RU-43 (County) and SR-43 (Peoria). These zoning districts are generally considered 'holding districts' reflective of pre-annexation land use status and are maintained until a rezoning request is made. The City of Peoria has identified, through the recent adoption of the 2040 General Plan, the aspiration of the community to facilitate a diverse mix of residential and non-residential land uses on the subject property to generate economic development opportunities and housing along both sides of the Loop 303 freeway corridor. The proposed PCD zoning is consistent with the land use recommendations of the General Plan and is indicative of zoning generally sought on large acreage properties that include a broad range

of zoning district types.

Similar to the Vistancia PCD, the North Peoria Gateway PCD seeks to concentrate commercial and employment uses adjacent to the Loop 303 Freeway Corridor where access and infrastructure can readily accommodate higher intensity land use types with significant regional economic impact. These areas will also allow for higher density residential uses that will provide housing for future employment and address shortages in the housing market that have become more pronounced since the Vistancia Commercial Core zoning was originally established.

5. Describe any proposed unique design considerations, beyond Zoning Ordinance requirements, which create compatibility between the proposed use and adjoining developments.

The rezoning request includes comprehensive development standards that generally adhere to the City's own zoning ordinance. This conformance ensures that future land uses and setbacks are appropriate in context to adjacent development and zoning. The proposed development plan specifies more intense land use types to be located near the freeway corridor and adjacent to areas that may already include compatible uses. Transitional and equivalent land uses area proposed proximate to existing neighborhoods. Transitional buffers can be provided through setbacks, open space and utility

corridors, and stepbacks where building massing may be applicable.

6. Provide general Site information and describe unusual physical features or characteristics of the Site which present opportunities or constraints for development.

Constraints: The subject property is generally undisturbed with the exception of roadways, the Beardsley Canal, utility corridors (water, wastewater, high voltage transmission lines) and freeway improvements that have established a development pattern within the perimeter of the property. Wash corridors and floodplains, coupled with variations in topographic morphology, establish a unique collection of on-site conditions that will dictate the development character on the property. The combination of these development constraints will directly impact the development density and intensity on the subject property, thus justifying the need for more flexible development standards to ensure appropriate development viability, particularly in areas that have limited impact on existing adjacent residential uses. See *Exhibit 5: Existing Site Conditions Map*.

Many of the Site's built existing improvements benefit not only the site, but also neighboring communities and those who are beyond the site boundary. For example, there are electrical easements, the canal, freeway, and the extensive roadway network system which serve adjacent communities and much of Arizona.

Opportunities: This subject property is located in a portion of the City that benefits from access to existing large-scale infrastructure and transportation corridors. The site hosts access to three built freeway interchanges, allowing for the efficient distribution of site traffic directly onto these corridors with limited impact to adjacent communities.

Having the Site master planned will provide regulations that help ensure neighborhood compatibility and the ability to create a cohesive

consistent community land use feel and look. It also provides the mechanisms by which adequate infrastructure is ensured.

7. Other than the requested rezoning approval, what other approval processes are required to accomplish the development proposal, i.e., variances, Site plans, subdivision plats, conditional use permits, comprehensive master plan amendments, State or County licensing or permits, etc.?

As an added measure, pursuant to the pre-annexation development agreement between the ASLD and the City of Peoria (the "P.A.D.A."), ASLD will work with the City to ensure consistency with the overall unit total through the State Trust Land auction process.

Until the last parcel is transferred out of ASLD ownership (a land patent issued), every development application to the City for property within the PCD, including but not limited to General Plan amendments, rezoning, plats, site plans, and use permits must be accompanied by a Planning Authorization Letter issued by ASLD.

Upon disposition of ASLD property, the first successors within a Development Unit will engage with the City and ASLD in a secondary planning process that will require the submittal of Master Plans as provided in Section 6 of *Appendix B: North Peoria Gateway Standards and Guidelines Report*. These Master Plans will more specifically identify the infrastructure needs and define traffic mitigation strategies for future development within the Development Unit.

EXHIBIT 1: VICINITY MAP

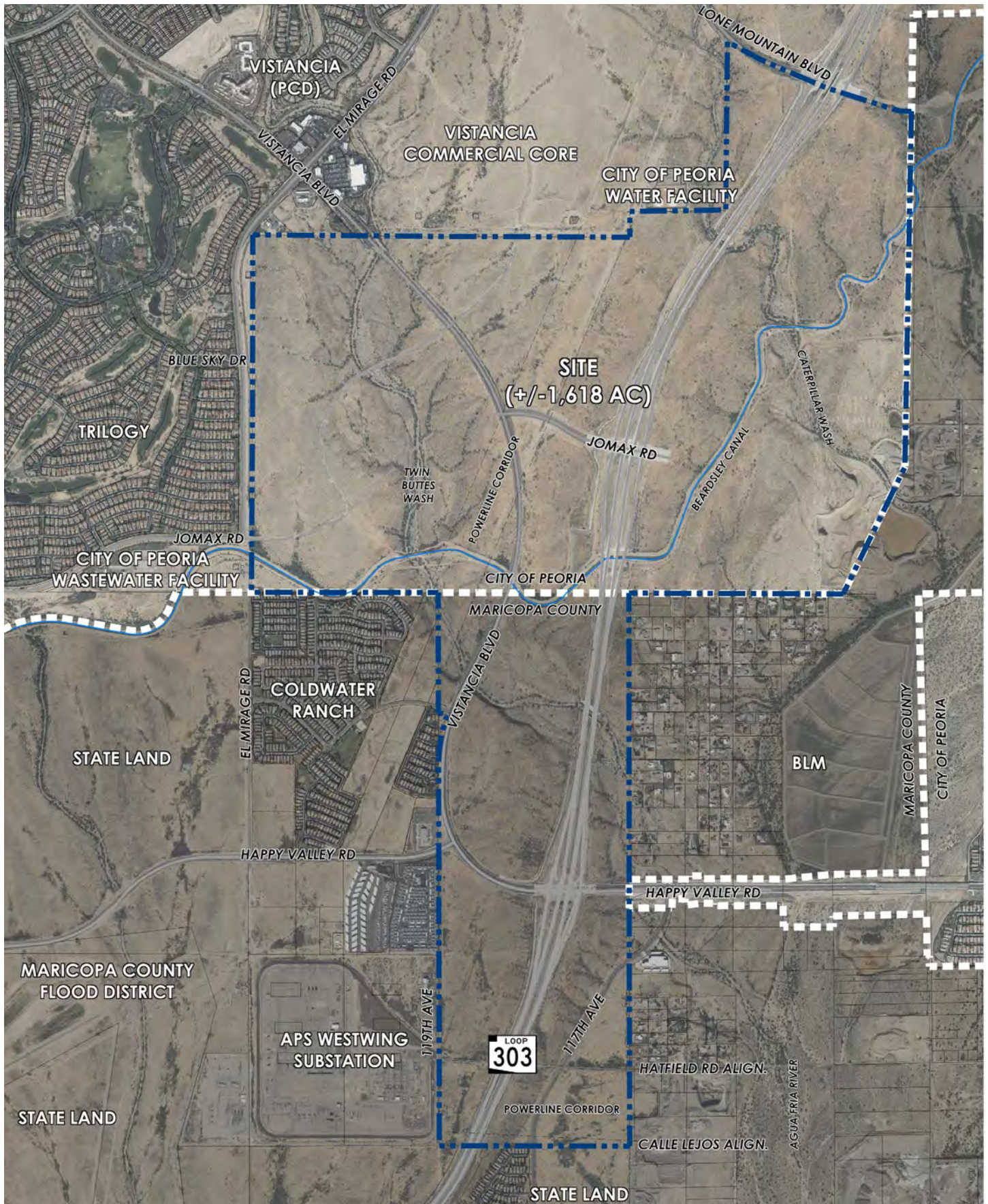
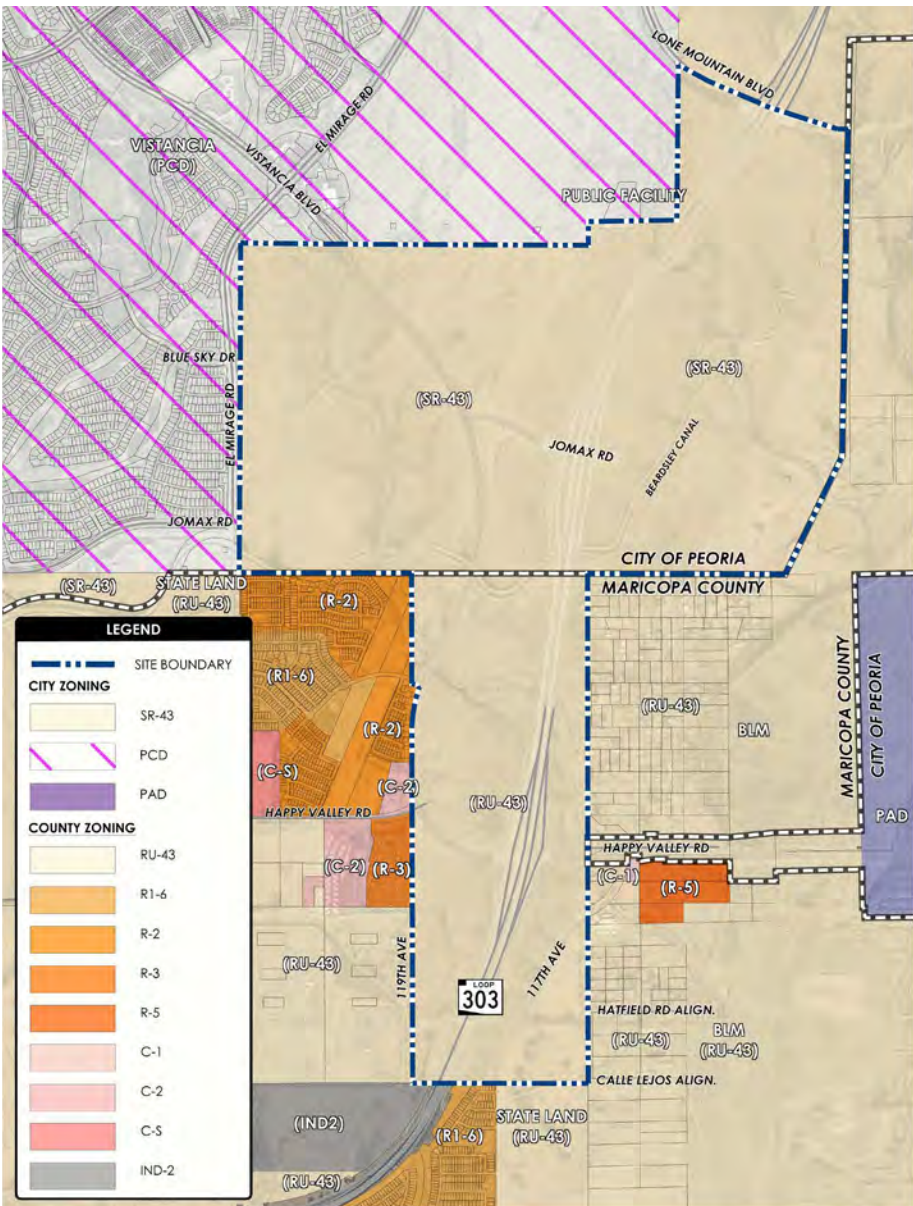
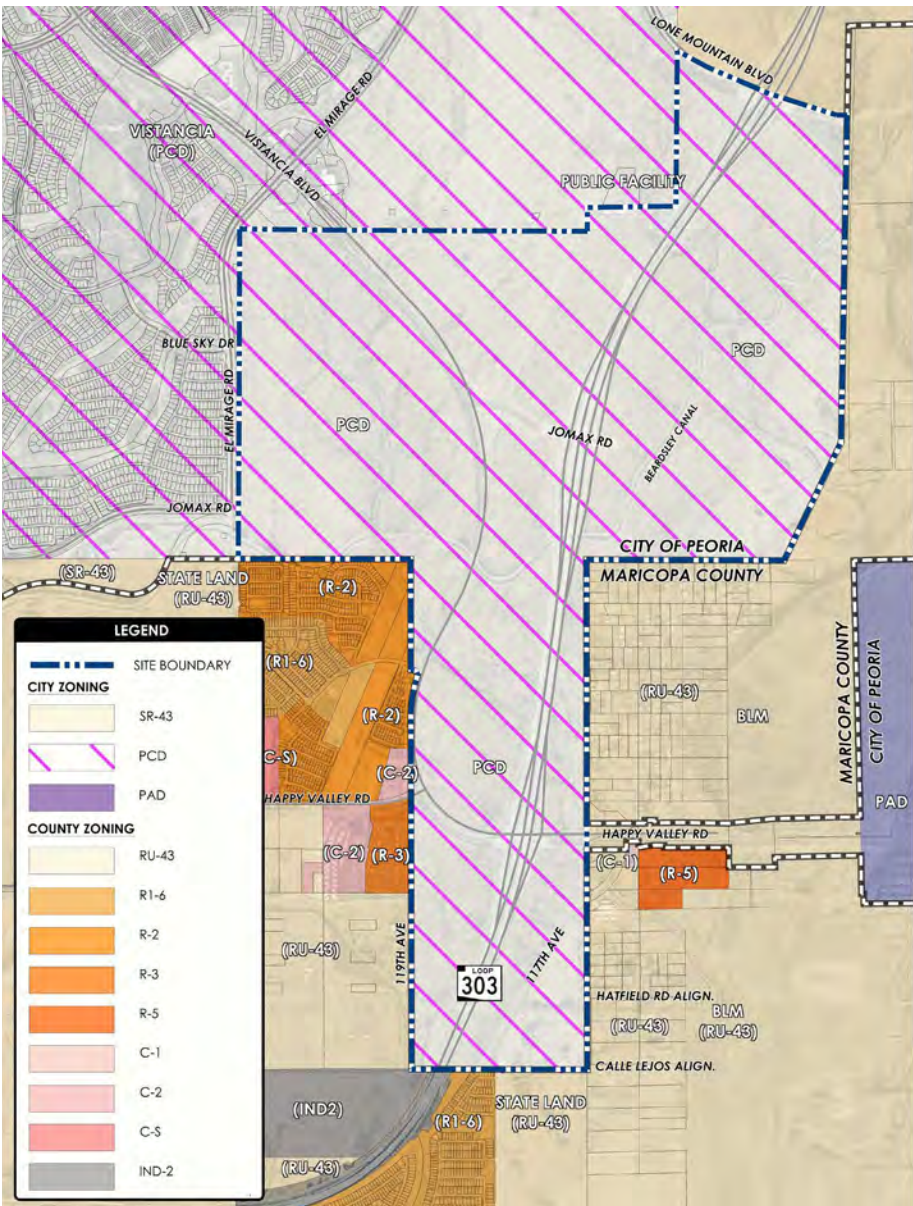


EXHIBIT 2: EXISTING & PROPOSED ZONING



EXISTING ZONING



PROPOSED ZONING

EXHIBIT 3: DEVELOPMENT UNITS PLAN

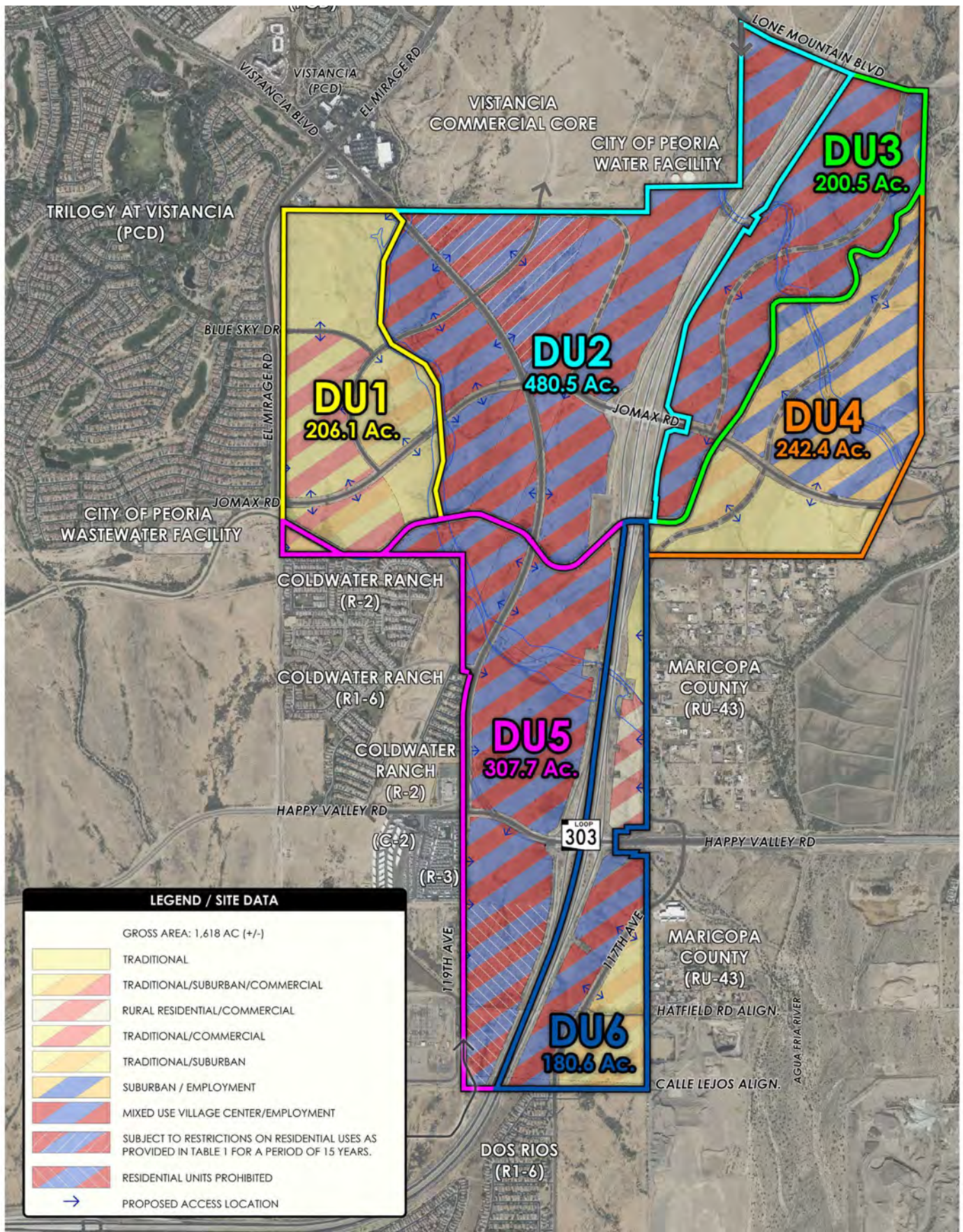


EXHIBIT 4: DEVELOPMENT PARCELS

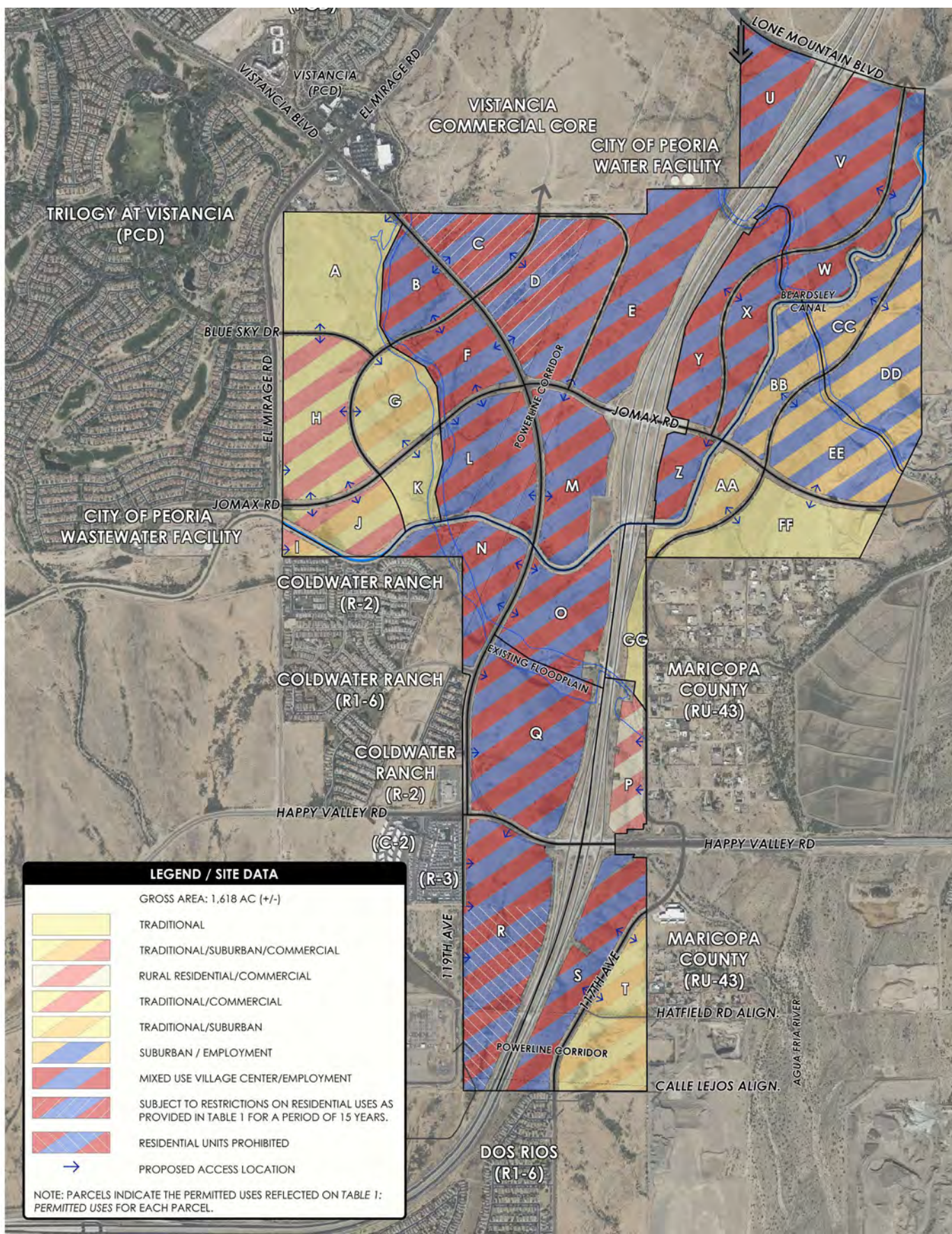


EXHIBIT 5: EXISTING SITE CONDITIONS MAP

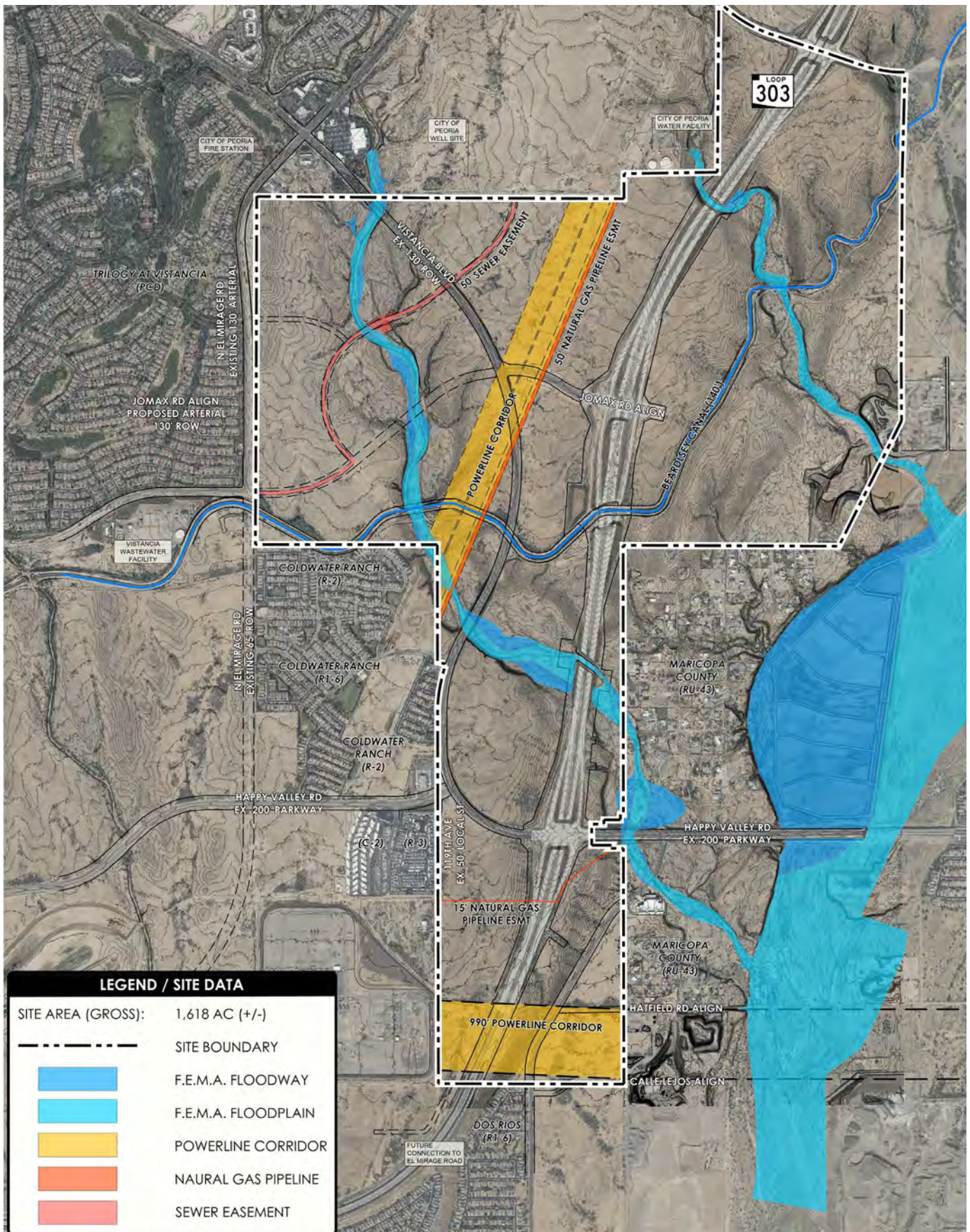
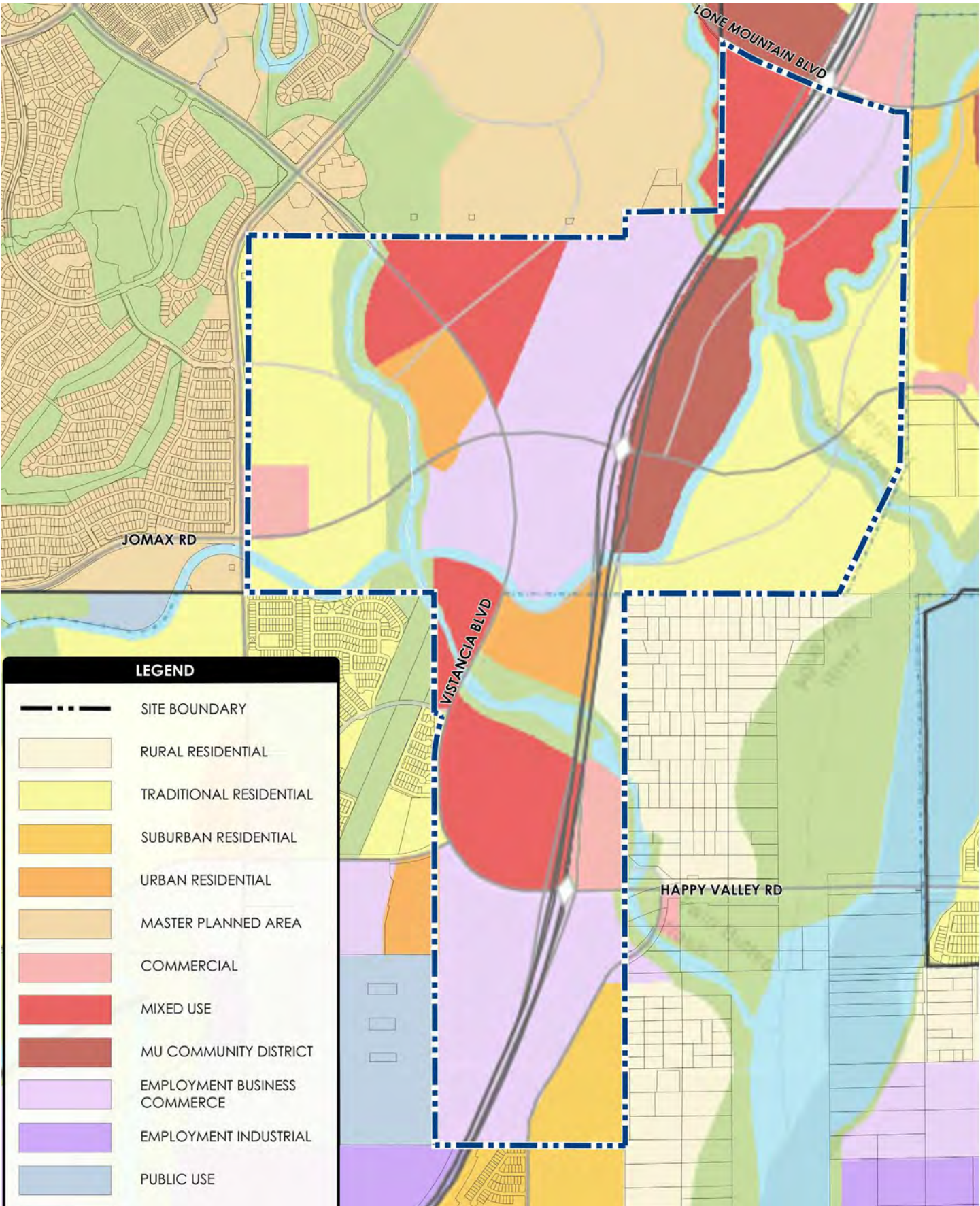


EXHIBIT 6: EXISTING GENERAL PLAN 2040



APPENDIX A: LEGAL DESCRIPTION

EXHIBIT A

LEGAL DESCRIPTION

A PARCEL OF LAND BEING ARIZONA STATE LAND DEPARTMENT (ASLD) PROPERTY (NO MARICOPA COUNTY ASSESSOR'S OFFICE PARCEL NUMBER (APN) OR DEED RECORDING INFORMATION AVAILABLE AT THE MARICOPA COUNTY RECORDER'S OFFICE (MCR) FOR THE AREA DESCRIBED.) LYING WITHIN SECTION 36, TOWNSHIP 5 NORTH, RANGE 1 WEST, SECTION 31 AND THE SOUTH HALF OF SECTION 30, TOWNSHIP 5 NORTH, RANGE 1 EAST, THE EAST HALF OF SECTION 1 AND THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 4 NORTH, RANGE 1 WEST OF THE GILA & SALT RIVER MERIDIAN, CITY OF PEORIA AND UNINCORPORATED MARICOPA COUNTY, ARIZONA MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 31 (CALCULATED) FROM WHICH POINT THE SOUTH QUARTER CORNER THEREOF (CALCULATED) BEARS S89°46'07"E A DISTANCE OF 2641.43 FEET;

THENCE S0°03'56"E, ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 1, A DISTANCE OF 2368.67 FEET TO THE EAST QUARTER CORNER THEREOF;

THENCE S0°00'02"W, ALONG AN EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 1, A DISTANCE OF 262.68 FEET TO AN ANGLE POINT IN SAID EAST LINE BEING THE WEST QUARTER CORNER OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 1 EAST;

THENCE S0°04'19"E, CONTINUING ALONG SAID EAST LINE, A DISTANCE OF 1182.66 FEET TO A POINT ON THE NORTH LINE OF THE LEGAL DESCRIPTION CONTAINED IN CITY OF PEORIA ORDINANCE NUMBER 2019-22 WHICH EXTENDS THE CORPORATE LIMITS OF THE CITY OF PEORIA (ANNEXATION) AND WAS RECORDED IN INSTRUMENT NUMBER 2019-0641615, MCR;

THENCE ALONG THE PERIMETER OF SAID ORDINANCE 2019-22 THE FOLLOWING NINE (9) COURSES AND DISTANCES:

- 1) S89°55'41"W A DISTANCE OF 42.63 FEET;
- 2) S0°03'16"E A DISTANCE OF 76.92 FEET;
- 3) S89°51'33"W A DISTANCE OF 234.18 FEET;
- 4) S0°08'27"E A DISTANCE OF 60.00 FEET;
- 5) S89°51'33"W A DISTANCE OF 173.00 FEET;
- 6) S0°08'27"E A DISTANCE OF 300.00 FEET;
- 7) N89°51'33"E A DISTANCE OF 279.90 FEET;
- 8) S33°01'03"W A DISTANCE OF 53.85 FEET;

ASLD - NORTH PEORIA GATEWAY - EXHIBIT

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Sheet 1 of 9

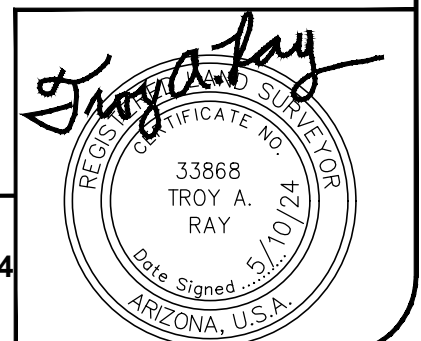


EXHIBIT A

LEGAL DESCRIPTION

9) N89°50'17"E A DISTANCE OF 198.90 FEET TO A POINT ON SAID EAST LINE OF THE SOUTHEAST QUARTER;

THENCE S0°04'19"E, ALONG SAID EAST LINE, A DISTANCE OF 704.82 FEET TO THE SOUTHEAST CORNER OF SAID SECTION 1;

THENCE S0°04'09"E, ALONG AN EAST LINE OF THE NORTHEAST QUARTER OF SECTION 12, A DISTANCE OF 263.10 FEET TO AN ANGLE POINT IN SAID EAST LINE BEING THE SOUTHWEST CORNER OF SAID SECTION 6;

THENCE S0°08'33"E, CONTINUING ALONG SAID EAST LINE, A DISTANCE OF 2380.66 FEET TO THE EAST QUARTER CORNER OF SAID SECTION 12;

THENCE N89°50'15"W, ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 2631.91 FEET TO THE CENTER QUARTER CORNER (CALCULATED) OF SAID SECTION 12,

THENCE N0°08'43"W, ALONG THE EAST LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 2638.76 FEET TO THE NORTH QUARTER CORNER (CALCULATED) OF SAID SECTION 12;

THENCE N0°06'13"W, ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER OF SECTION 1, A DISTANCE OF 2638.39 FEET TO THE CENTER QUARTER CORNER (CALCULATED) OF SAID SECTION 1;

THENCE N0°06'13"W, ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 1, A DISTANCE OF 77.10 FEET TO THE SOUTH CORNER OF THAT TRACT AS CONVEYED TO COLDWATER RANCH COMMUNITY ASSOCIATION BY DEED OF RECORD IN INSTRUMENT NUMBER 2008-0078901, MCR BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT FROM WHICH POINT THE RADIUS POINT BEARS S86°40'26"E;

THENCE ALONG THE EAST LINE OF SAID COLDWATER TRACT THE FOLLOWING THREE (3) COURSES AND DISTANCES:

1) 596.27 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 2315.00 FEET, A CENTRAL ANGLE OF 14°45'28" AND A CHORD BEARING N10°42'18"E TO THE BEGINNING ON A NON-TANGENT CURVE TO THE LEFT FROM WHICH POINT THE RADIUS POINT BEARS N77°24'41"W

2) 30.77 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 88°08'58" AND A CHORD BEARING N31°29'10"W;

3) N75°33'39"W A DISTANCE OF 100.23 FEET TO A POINT ON SAID WEST LINE OF THE NORTHEAST QUARTER OF SECTION 1;

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Sheet 2 of 9

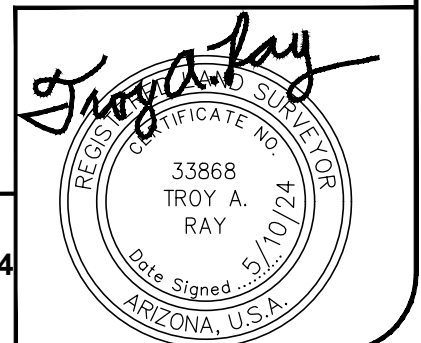


EXHIBIT A

LEGAL DESCRIPTION

THENCE N0°06'13"W, ALONG SAID WEST LINE, A DISTANCE OF 1658.13 FEET TO THE NORTH QUARTER CORNER OF SAID SECTION 1 WITH SAID POINT BEING ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 36;

THENCE N89°56'40"W, ALONG SAID SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 2581.63 FEET TO THE SOUTHWEST CORNER OF SECTION 36;

THENCE N0°17'37"E, ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 2301.99 FEET TO THE WEST QUARTER CORNER OF SECTION 36;

THENCE N0°09'19"E, ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 36, A DISTANCE OF 2640.36 FEET TO THE NORTHWEST CORNER OF SECTION 36;

THENCE S89°30'44"E, ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 2645.99 FEET TO THE NORTH QUARTER CORNER OF SECTION 36;

THENCE S89°47'22"E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 36, A DISTANCE OF 2565.33 FEET TO THE NORTHEAST CORNER OF SECTION 36;

THENCE N0°07'56"E, ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 31, A DISTANCE OF 356.01 FEET TO THE NORTHWEST CORNER OF SECTION 31;

THENCE N89°09'19"E, ALONG NORTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 1325.11 FEET A POINT ON THE WEST RIGHT-OF-WAY LINE OF SR 303L;

THENCE N0°28'00"E, ALONG AN EAST LINE OF PARCEL D6 AS SHOWN ON THE MASTER PLAT FOR VISTANCIA VILLAGE D SOUTH RECORDED IN BOOK 1498, PAGE 14, MCR, A DISTANCE OF 1323.48 FEET;

THENCE N0°27'25"E, CONTINUING ALONG SAID EAST LINE OF PARCEL D6, ALONG THE EAST LINE OF TRACT D AS SHOWN ON SAID MASTER PLAT AND ACROSS THE RIGHT-OF-WAY OF LONE MOUNTAIN PARKWAY, A DISTANCE OF 1097.70 FEET TO A POINT ON THE CENTERLINE OF SAID LONE MOUNTAIN PARKWAY BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT FROM WHICH POINT THE RADIUS POINT BEARS N44°55'17"E;

THENCE ALONG SAID CENTERLINE THE FOLLOWING THREE (3) COURSES:

1) 966.54 FEET ALONG THE ARC OF SAID NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 1945.16 FEET, A CENTRAL ANGLE OF 28°28'12" AND A CHORD BEARING S59°18'49"E;

Sheet 3 of 9

ASLD - NORTH PEORIA GATEWAY - EXHIBIT

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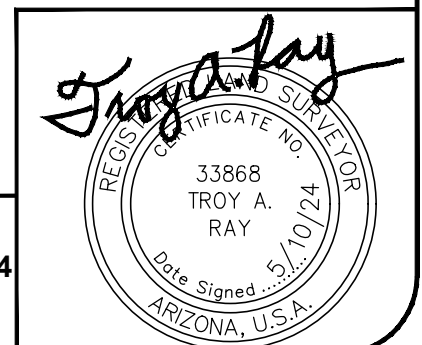


EXHIBIT A

LEGAL DESCRIPTION

2) S71°08'45"E A DISTANCE OF 1281.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT FROM WHICH THE RADIUS POINT BEARS N18°52'49"E;

3) 616.11 FEET ALONG THE ARC OF SAID NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 1850.00 FEET, A CENTRAL ANGLE OF 19°04'53" AND A CHORD BEARING S80°39'38"E TO A POINT ON THE WEST LINE OF THOSE TRACTS AS CONVEYED TO PROPERTY RESERVE ARIZONA, LLC BY DEED OF RECORD IN INSTRUMENT NUMBER 1989-0416748, MCR;

THENCE S1°28'50"W, ALONG SAID WEST LINE, A DISTANCE OF 1381.10 FEET TO A POINT ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31;

THENCE S0°21'21"W, CONTINUING ALONG SAID WEST LINE, A DISTANCE OF 2666.68 FEET TO A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER BEING THE NORTHWEST CORNER OF THAT TRACT AS CONVEYED TO ZONA WEST 185, LLC BY DEED OF RECORD IN INSTRUMENT NUMBER 2022-0380599, MCR;

THENCE S0°19'46"E, ALONG THE WEST LINE OF SAID ZONA WEST TRACT AND ALONG THE WEST LINE OF THAT TRACT AS CONVEYED TO MIDWEST LAND TRUST LLC BY DEED OF RECORD IN INSTRUMENT NUMBER 2015-0220165, MCR, A DISTANCE OF 900.00 FEET;

THENCE S26°32'26"W, ACROSS SAID ASLD PROPERTY, A DISTANCE OF 1991.21 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 31;

THENCE N89°45'34"W, ALONG SAID SOUTH LINE, A DISTANCE OF 420.00 FEET TO THE SOUTH QUARTER CORNER OF SECTION 31;

THENCE N89°46'07"W, ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 31, A DISTANCE OF 2641.43 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 70,467,008.48 S.F. (1,617.6999 ACRES) OF LAND, MORE OR LESS, INCLUDING ANY EASEMENTS OF RECORD.

THE BASIS OF BEARING FOR THE ABOVE DESCRIPTION IS S89°46'07"E FOR THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 5 NORTH, RANGE 1 EAST OF THE GILA & SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA AS SHOWN ON THE RECORD OF SURVEY PLSS SUBDIVISION - MARICOPA COUNTY GEODETIC DENSIFICATION AND CADASTRAL SURVEY (GDACS) RECORDED IN BOOK 588, PAGE 3 MARICOPA COUNTY RECORDS.

Sheet 4 of 9

ASLD - NORTH PEORIA GATEWAY - EXHIBIT

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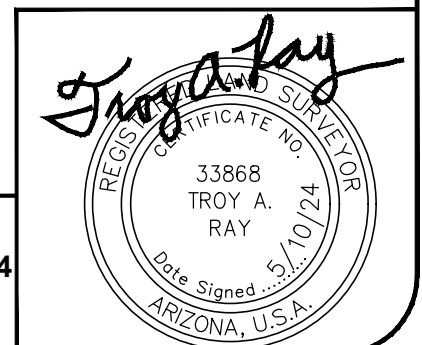
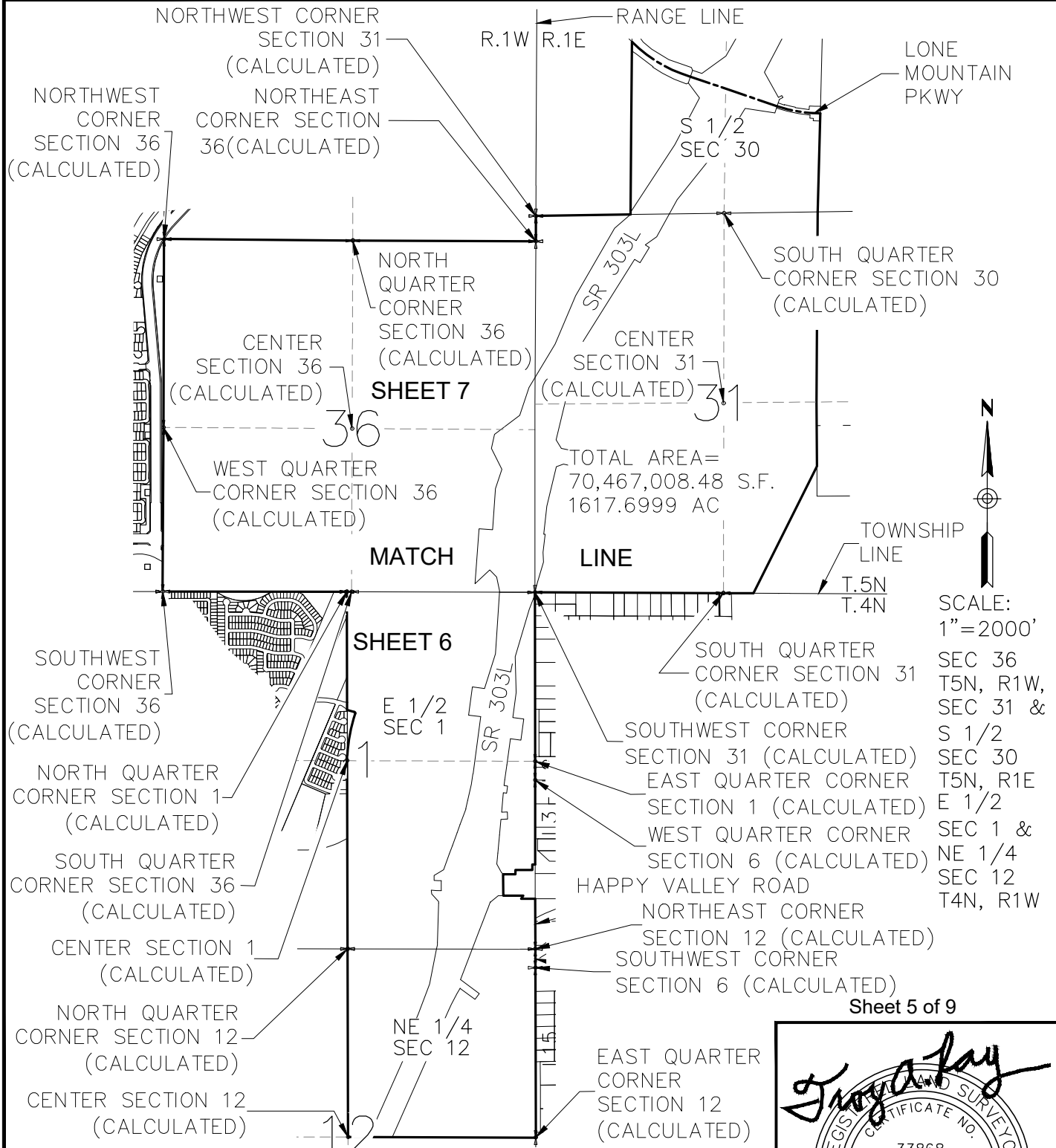


EXHIBIT A

OVERALL SITE



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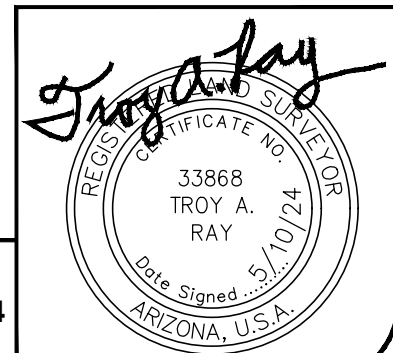
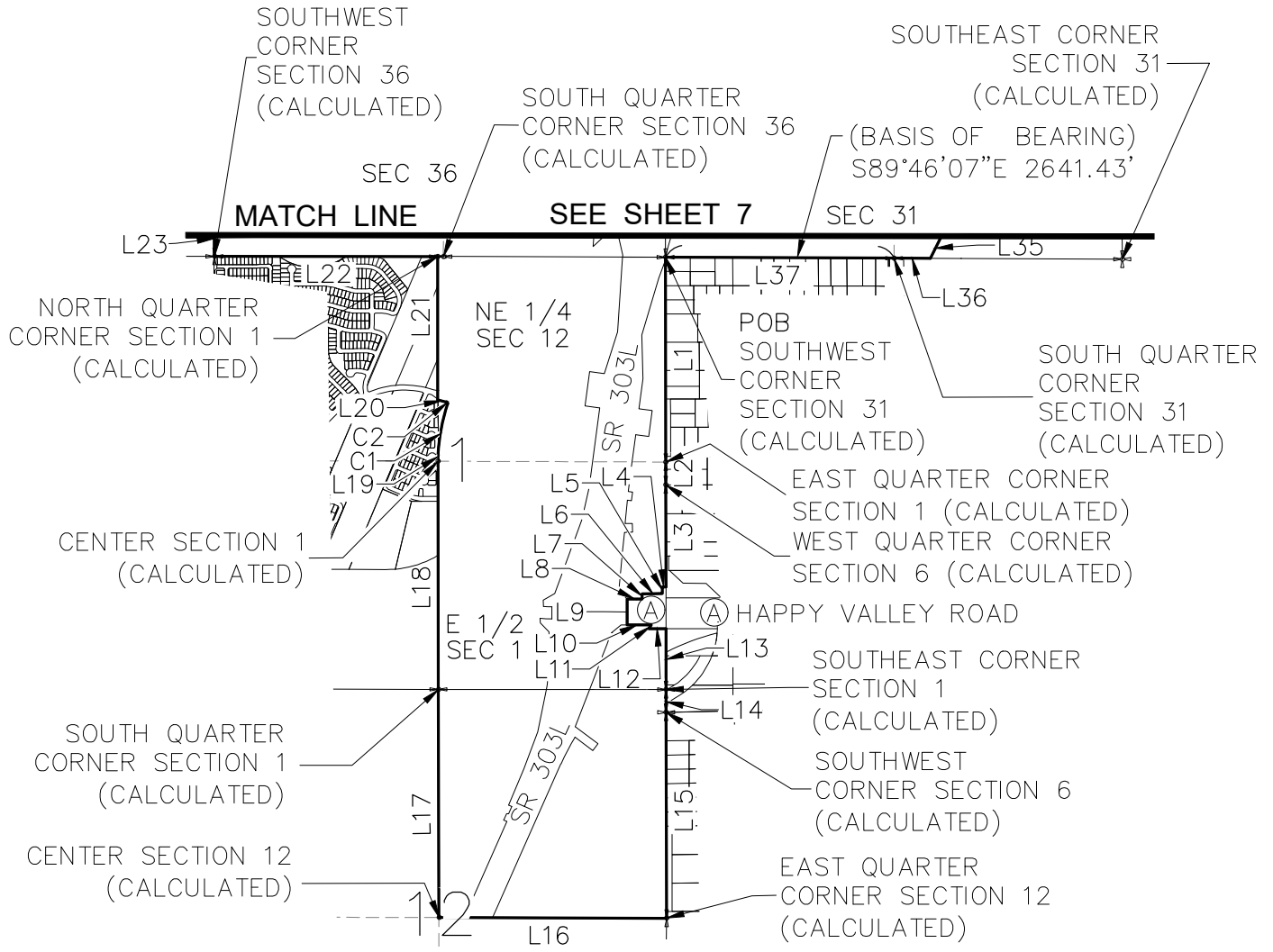


EXHIBIT A

SKETCH



SCALE:
1"=2000'
SEC 36
T5N, R1W,
SEC 31
T5N, R1E
E 1/2
SEC 1 &
NE 1/4
SEC 12
T4N, R1W

TOTAL AREA
THIS SHEET=
22025468.13 S.F.
505.6352 AC

CITY OF PEORIA ANNEXATION
① ORDINANCE NUMBER 2019-22
INST. NO. 2019-0641615, MCR

** SEE SHEETS 8 AND 9 FOR LINE AND CURVE TABLES **

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Sheet 6 of 9

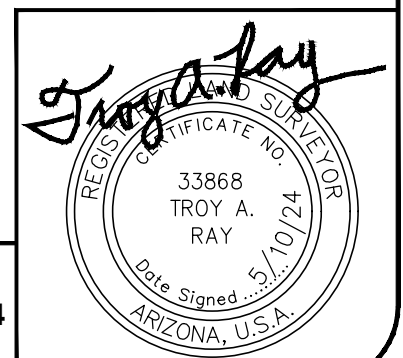
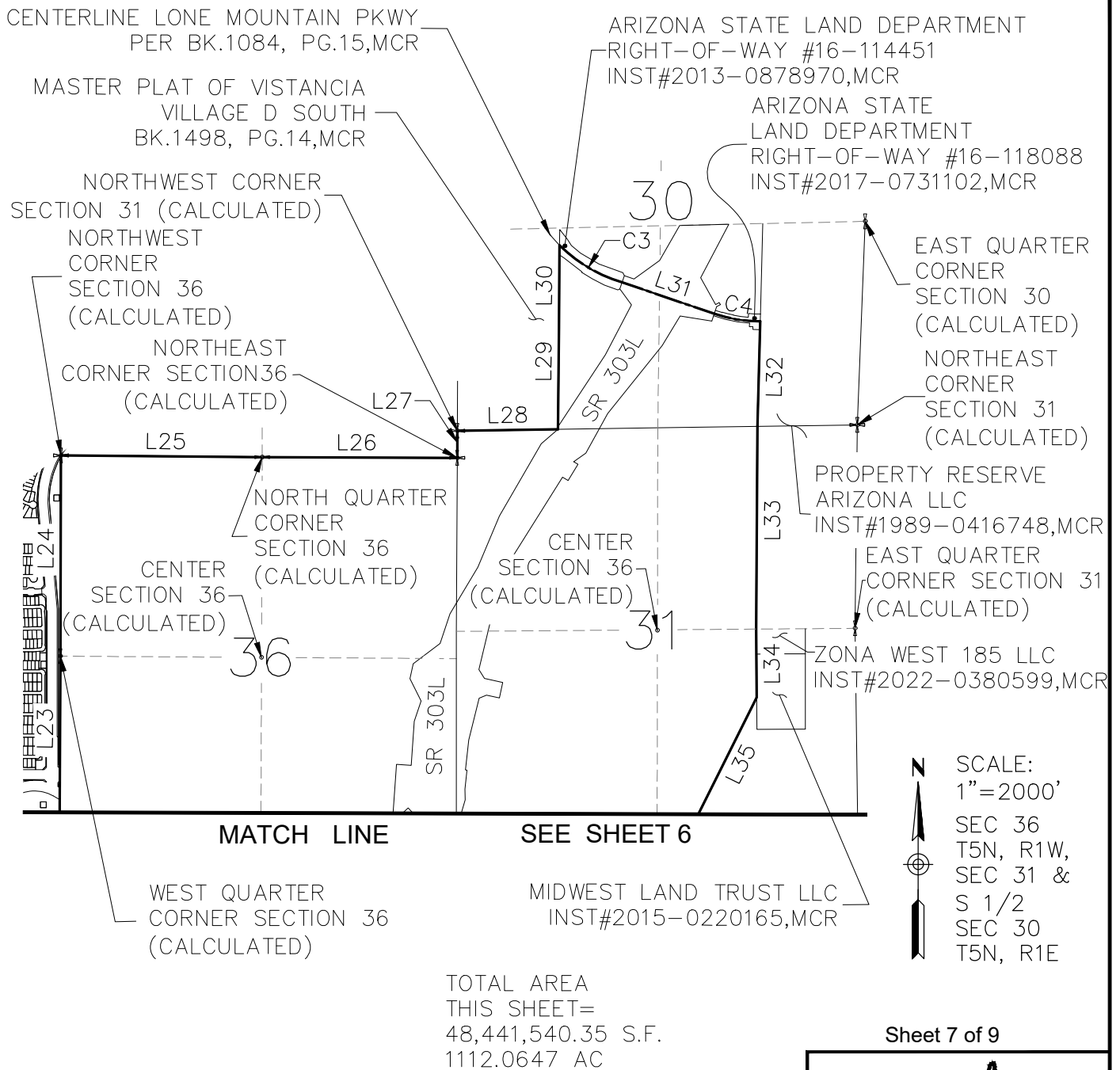


EXHIBIT A

SKETCH



** SEE SHEETS 8 AND 9 FOR LINE AND CURVE TABLES **

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Sheet 7 of 9

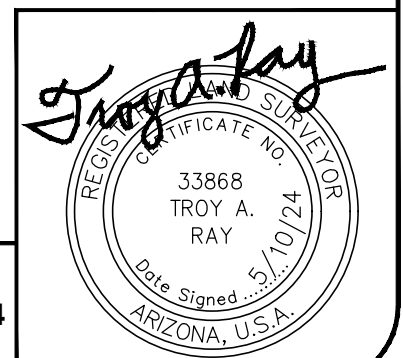


EXHIBIT A

TABLES

LINE TABLE		
LINE	BEARING	LENGTH
L1	S0°03'56"E	2368.67'
L2	S0°00'02"W	262.68'
L3	S0°04'19"E	1182.66'
L4	S89°55'41"W	42.63'
L5	S0°03'16"E	76.92'
L6	S89°51'33"W	234.18'
L7	S0°08'27"E	60.00'
L8	S89°51'33"W	173.00'
L9	S0°08'27"E	300.00'
L10	N89°51'33"E	279.90'
L11	S33°01'03"W	53.85'
L12	N89°50'17"E	198.90'
L13	S0°04'19"E	704.82'
L14	S0°04'09"E	263.10'
L15	S0°08'33"E	2380.66'
L16	N89°50'15"W	2631.91'
L17	N0°08'43"W	2638.76'
L18	N0°06'13"W	2638.39'
L19	N0°06'13"W	77.10'

LINE TABLE		
LINE	BEARING	LENGTH
L20	N75°33'39"W	100.23'
L21	N0°06'13"W	1658.13'
L22	N89°56'40"W	2581.63'
L23	N0°17'37"E	2301.99'
L24	N0°09'19"E	2640.36'
L25	S89°30'44"E	2645.99'
L26	S89°47'22"E	2565.33'
L27	N0°07'56"E	356.01'
L28	N89°09'19"E	1325.11'
L29	N0°28'00"E	1323.48'
L30	N0°27'25"E	1097.70'
L31	S71°08'45"E	1281.00'
L32	S1°28'50"W	1381.10'
L33	S0°21'21"W	2666.68'
L34	S0°19'46"E	900.00'
L35	S26°32'26"W	1991.21'
L36	N89°45'34"W	420.00'
L37	N89°46'07"W	2641.43'

Sheet 8 of 9

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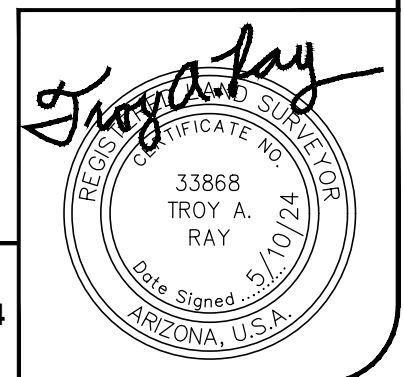


EXHIBIT A

TABLE

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHD BRNG
C1	14°45'28"	2315.00'	596.27'	N10°42'18"E
C2	88°08'58"	20.00'	30.77'	N31°29'10"W
C3	28°28'12"	1945.16'	966.54'	S59°18'49"E
C4	19°04'53"	1850.00'	616.11'	S80°39'38"E

Sheet 9 of 9

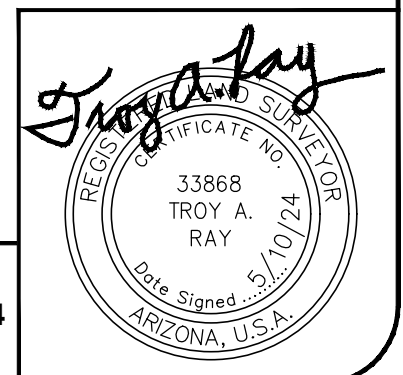
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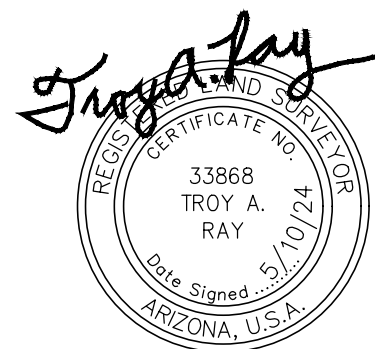
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CITY OF PEORIA - AREA TO BE REZONED

North: 991672.4522' Segment #1 : Line Course: N89° 46' 07"W North: 991683.1196' Segment #2 : Line Course: S0° 03' 56"E North: 989314.4511' Segment #3 : Line Course: S0° 00' 02"W North: 989051.7711' Segment #4 : Line Course: S0° 04' 19"E North: 987869.1121' Segment #5 : Line Course: S89° 55' 41"W North: 987869.0585' Segment #6 : Line Course: S0° 03' 16"E North: 987792.1386' Segment #7 : Line Course: S89° 51' 33"W North: 987791.5630' Segment #8 : Line Course: S0° 08' 27"E North: 987731.5631' Segment #9 : Line Course: S89° 51' 33"W North: 987731.1379' Segment #10 : Line Course: S0° 08' 27"E North: 987431.1388' Segment #11 : Line Course: N89° 51' 33"E North: 987431.8268' Segment #12 : Line Course: S33° 01' 03"W North: 987386.6734' Segment #13 : Line Course: N89° 50' 17"E North: 987387.2355' Segment #14 : Line Course: S0° 04' 19"E North: 986682.4161'	East: 583714.0963' Length: 2641.43' East: 581072.6879' Length: 2368.67' East: 581075.3980' Length: 262.68' East: 581075.3954' Length: 1182.66' East: 581076.8805' Length: 42.63' East: 581034.2505' Length: 76.92' East: 581034.3236' Length: 234.18' East: 580800.1443' Length: 60.00' East: 580800.2918' Length: 173.00' East: 580627.2923' Length: 300.00' East: 580628.0297' Length: 279.90' East: 580907.9289' Length: 53.85' East: 580878.5863' Length: 198.90' East: 581077.4855' Length: 704.82' East: 581078.3705'	Segment #15 : Line Course: S0° 04' 09"E North: 986419.3163' Segment #16 : Line Course: S0° 08' 33"E North: 984038.6637' Segment #17 : Line Course: N89° 50' 15"W North: 984046.1282' Segment #18 : Line Course: N0° 08' 43"W North: 986684.8797' Segment #19 : Line Course: N0° 06' 13"W North: 989323.2654' Segment #20 : Line Course: N0° 06' 13"W North: 989400.3652' Segment #21 : Curve Length: 596.27' Radius: 2315.00' Delta: 14°45'28" Tangent: 299.80' Chord: 594.63' Course: N10° 42' 18"E Course In: S86° 40' 26"E Course Out: N71° 54' 58"W RP North: 989266.0513' East: 580752.2086' End North: 989984.6484' East: 578551.5625' Segment #22 : Curve Length: 30.77' Radius: 20.00' Delta: 88°08'58" Tangent: 19.36' Chord: 27.82' Course: N31° 29' 10"W Course In: N77° 24' 41"W Course Out: N14° 26' 21"E RP North: 989989.0074' East: 578532.0433' End North: 990008.3757' East: 578537.0304'
--	--	---



CITY OF PEORIA - AREA TO BE REZONED

Segment #23 : Line
Course: N75° 33' 39"W Length: 100.23'
North: 990033.3682' East: 578439.9663'

Segment #24 : Line
Course: N0° 06' 13"W Length: 1658.13'
North: 991691.4955' East: 578436.9678'

Segment #25 : Line
Course: N89° 56' 40"W Length: 2581.63'
North: 991693.9987' East: 575855.3391'

Segment #26 : Line
Course: N0° 17' 37"E Length: 2301.99'
North: 993995.9585' East: 575867.1355'

Segment #27 : Line
Course: N0° 09' 19"E Length: 2640.36'
North: 996636.3088' East: 575874.2912'

Segment #28 : Line
Course: S89° 30' 44"E Length: 2645.99'
North: 996613.7829' East: 578520.1853'

Segment #29 : Line
Course: S89° 47' 22"E Length: 2565.33'
North: 996604.3556' East: 581085.4980'

Segment #30 : Line
Course: N0° 07' 56"E Length: 356.01'
North: 996960.3647' East: 581086.3195'

Segment #31 : Line
Course: N89° 09' 19"E Length: 1325.11'
North: 996979.9003' East: 582411.2855'

Segment #32 : Line
Course: N0° 28' 00"E Length: 1323.48'
North: 998303.3364' East: 582422.0650'

Segment #33 : Line
Course: N0° 27' 25"E Length: 1097.70'
North: 999401.0015' East: 582430.8192'

Segment #34 : Curve
Length: 966.54' Radius: 1945.16'
Delta: 28°28'12" Tangent: 493.46'
Chord: 956.63' Course: S59° 18' 49"E
Course In: N44° 55' 17"E Course Out: S16° 27' 05"W
RP North: 1000778.3232' East: 583804.3666'
End North: 998912.7973' East: 583253.4939'

Segment #35 : Line
Course: S71° 08' 45"E Length: 1281.00'
North: 998498.8287' East: 584465.7608'

Segment #36 : Curve
Length: 616.11' Radius: 1850.00'
Delta: 19°04'53" Tangent: 310.93'
Chord: 613.26' Course: S80° 39' 38"E
Course In: N18° 52' 49"E Course Out: S0° 12' 04"E
RP North: 1000249.2928' East: 585064.4055'
End North: 998399.3042' East: 585070.8991'

Segment #37 : Line
Course: S1° 28' 50"W Length: 1381.10'
North: 997018.6653' East: 585035.2147'

Segment #38 : Line
Course: S0° 21' 21"W Length: 2666.68'
North: 994352.0367' East: 585018.6534'

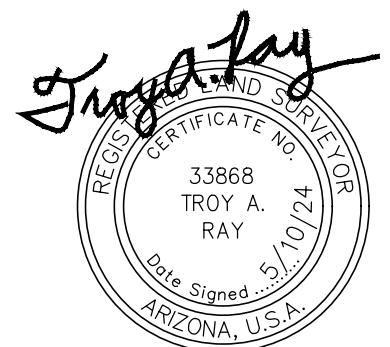
Segment #39 : Line
Course: S0° 19' 46"E Length: 900.00'
North: 993452.0516' East: 585023.8283'

Segment #40 : Line
Course: S26° 32' 26"W Length: 1991.21'
North: 991670.6787' East: 584134.0936'

Segment #41 : Line
Course: N89° 45' 34"W Length: 420.00'
North: 991672.4420' East: 583714.0973'

Perimeter: 48655.20'
Area: 70,467,008.48 Sq. Ft. (1,617.6999 ACRES)
Error Closure: 0.0102 Course: S5° 46' 39"E
Error North: -0.01019
East: 0.00103

Precision 1: 4,770,117.65



APPENDIX B:
NORTH PEORIA GATEWAY STANDARDS AND GUIDELINES REPORT

NORTH PEORIA GATEWAY 303

PLANNED COMMUNITY DEVELOPMENT

Standards and Guidelines Report

3RD SUBMITTAL: AUGUST, 2024



PRESENTED BY:



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TABLE OF CONTENTS

1. PROJECT INTRODUCTION	1
2. PROPERTY DESCRIPTION	1
3. PRELIMINARY DEVELOPMENT PLAN.....	1
Development Concept	1
Plan Implementation	1
Development Units	1
Development Parcels	2
PCD Land Use Designations	3
4. PERMITTED, CONDITIONAL, AND ACCESSORY USES	4
Land Uses Not Listed	4
5. PROJECT DEVELOPMENT STANDARDS AND GENERAL PROVISIONS	4
A. Minimum Lot Area, Setbacks, Lot Coverage, and Building Height	4
B. Open Space Requirements	4
C. Parking Standards	4
D. Landscaping	4
E. Accessory Dwelling Units	4
F. Accessory Buildings and Uses	5
G. Lighting	5
H. Screening, Fencing and Walls	5
I. Roadway Standards	5
J. Signs	5
6. SECONDARY PLANNING	5
7. PHASING & PROJECT IMPLEMENTATION	7
Project Governance	7
ASLD/Purchaser Role	7
Amendments	7
8. INFRASTRUCTURE / UTILITIES	7
Water & Wastewater	7
LIST OF TABLES & EXHIBITS	
Table 1: Permitted Uses	8
Table 2A & 2B: Development Standards	9
Exhibit 1: Vicinity Map	10
Exhibit 2: Development Units Plan	11
Exhibit 3: Development Parcels	12
Exhibit 4: Land Use Budget Table	13

1. PROJECT INTRODUCTION

The North Peoria Gateway property comprises approximately 1,618 acres of State Trust land (STL) located along the Loop 303 Freeway corridor. This property represents an opportunity to create a mixed use development area with heightened focus of employment and commerce uses proximate to the freeway, while also providing for commercial opportunities and diverse housing options. Annexation of the southern portion of the property allows for inclusion within the subject rezoning into the Planned Community District (PCD) designation and provides the framework for future development while providing standards and guidelines for the Project.

The Site extends across a large area that straddles the recently completed Loop 303 Freeway corridor in the rapidly developing northern Peoria sub-market. The Freeway represents an integral component in establishing prime opportunities for employment, commercial services and diverse housing opportunities. The site includes, or is proximate to, existing regional roadways, utility infrastructure, and facilities that further promote the viability of the property for development. As a result of proximity to existing City of Peoria (“City” or “Peoria”) and EPCOR services and compatible adjacent zoning, the applicant recognizes the justification for the annexation and zoning request. This proposal is in alignment with Peoria’s recent update to the General Plan and will enable the City and Arizona State Land Department (“ASLD”) to continue their close partnership in promoting a shared vision for Peoria.

2. PROPERTY DESCRIPTION

The Site is approximately 1,618 gross acres of undeveloped land and is located between the El Mirage Road alignment on the West and the 109th Avenue alignment along the east. The property extends north to Lone Mountain Parkway and south to the Calle Lejos alignment as shown on [Exhibit 1: Vicinity Map](#). The property includes portions of Sections 1 and 12 of Township 04 North Range 01 West, portions of 30 and 31 of Township 05 North Range 01 East, and the entirety of Section 36 Township 05 North Range 01 West.

3. PRELIMINARY DEVELOPMENT PLAN

Development Concept

The flexibility enabled by the PCD zoning offers a desirable improvement over conventional zoning standards and directly promotes the appropriate and efficient use of land and infrastructure. A flexible zoning approach also addresses ASLD’s unique position as landowner, providing entitlements that will allow the land to develop in a way that is responsive to market conditions and adjacent land uses. The Plan implements several General Plan policies providing diverse land uses that meet the City’s growth and employment goals. This correlation with the General Plan objectives provides the foundation for the future master planning and site planning of the site.

This PCD regulates the balanced integration of both residential and non-residential uses proximate to the Loop 303 Freeway corridor. This Plan continues the intent of the City of Peoria General Plan by encouraging employment and commercial uses adjacent to the freeway, with transitions to residential and support services that are consistent with land use patterns of nearby communities.

Plan Implementation

This plan relies on a hierarchy of land use planning that will guide future localized planning and specific site development. This hierarchy will progressively establish additional refinement of uses, development regulations and appropriate buffering to ensure for the highest level of compatibility and infrastructure operability. All necessary master plans including but not limited to Master TIA, Master Water / Wastewater, Master Drainage, Master Conservation Report, etc. as provided in Section 6 of this PCD.

Development Units

The property has been segmented into six ‘Development Units’ that are defined based on land use character, infrastructure service providers and existing physical boundaries that logically define the segmentation of the property, as illustrated in [Exhibit 2: Development Units Plan](#). Each development unit maintains a diversity of allowed land use types and is subject to the permitted densities and uses

that correlate with the prescribed zoning districts assigned to each parcel in [Table 1: Permitted Uses](#). The overall PCD unit cap is 13,989 dwelling units.

Development Unit 1: 206 Gross Acres. Located north of Coldwater Ranch and east of Trilogy. The land use character will be predominantly single family residential. This Development Unit is generally located within the City of Peoria water and wastewater service boundary including Parcel I, which is located south of the canal, but located in Peoria's service area. The city of Peoria has agreed to work with EPCOR towards moving this parcel into EPCOR's service area.

Development Unit 2: 481 Gross Acres. Located west of the Loop 303 freeway and south of the Vistancia Commercial Core. This area has robust access potential from existing arterial roadways. Due to limited frontage along Lone Mountain Parkway, future access to the property will require ongoing coordination with the City of Peoria and the Arizona Department of Transportation (ADOT). With this proximity to the freeway, the land use character will include opportunities for higher intensity uses including commercial, employment and multi-family residential. Residential uses will be limited in parcels C and D as referenced in [Table 1: Permitted Uses](#). This Development Unit is located within the City of Peoria water and wastewater service boundary.

Development Unit 3: 200 Gross Acres. Comprising the east edge of the Loop 303 corridor generally north of Jomax Road, this planning unit benefits from access to two freeway interchanges. The parcel is relatively narrow east to west, but its adjacency to the freeway supports a diversity of higher intensity land uses including commercial, employment and multi-family residential. However, due to limited frontage along Jomax Road and Lone Mountain Parkway, future access to the property will require ongoing coordination with the City of Peoria and ADOT. This Development Unit is located within the City of Peoria water service boundary.

Development Unit 4: 242 Gross Acres. Located along the site's northeastern edge, the Development Unit is accessed by the Jomax Road extension that will ultimately connect east across the Agua Fria River. Land uses transition from higher intensity residential

to single-family uses at the east edge of the unit. This planning unit is located within the City of Peoria water service boundary.

Development Unit 5: 308 Gross Acres. Located west of the Loop 303 freeway with development area north and south of Vistancia Boulevard, planned land use will prioritize regional commercial, employment and multi-family. This Development Unit is generally located within the EPCOR water service boundary.

Development Unit 6: 181 Gross Acres. Located east of the Loop 303 corridor north and south of Happy Valley Road. This area is heavily constrained by topography, utility easements and limited access opportunities. Land uses are reflective of the planning unit's proximity to the Freeway and existing single family residential to the south and east. This Development Unit is located within the EPCOR water service boundary.

Development Parcels

The site is divided into thirty-three development parcels generally defined by established physical boundaries including arterial and collector roadway alignments, the Loop 303 freeway, the Beardsley Canal, natural drainage corridors and current utility service boundaries. Each land use designation includes allowances for multiple existing City of Peoria zoning districts or districts as established by this PCD. Development Parcels may ultimately include single or multiple zoning designations in alignment with the permitted designation located in Table 1. See [Exhibit 3: Development Parcels](#).

PCD Land Use Designations

This PCD applies one of seven land use designations that generally reflect the previous General Plan designations to each of the thirty-three defined parcels within the overall site. However, in many instances, the land use designations have been combined over individual parcels to allow for development adaptivity in response to future market conditions. The PCD establishes an overall land use budget that will provide assurances that this diversity of land use allowance can be accomplished in a compatible manner and does not allow greater overall dwelling units than are identified by the city's previous General Plan designations.

At the time of Site Plan (non-residential or multifamily) or Preliminary Plat (single-family residential), the applicant shall declare the applicable zoning district permitted for the Development Parcel in Table 1: Permitted Uses or portion thereof which will establish the permitted uses for the property. Upon site plan or final plat approval, any residential units will be accounted for in the Land Use Budget, Exhibit 4: Land Use Budget Table. If property for which a site plan or final plat is approved does not transfer out of ASLD's ownership (a land patent issued), the units formerly deducted from the Land Use Budget table will be returned provided that the overall applicable maximum has not been exceeded.

Parcel land use designations are illustrated on *Exhibit 3: Development Parcels* and unless modified herein allow development according to the regulations of the Peoria zoning districts associated with each development parcel as shown in *Table 3: Permitted Uses*. The land use designation types associated with North Peoria Gateway include:

Traditional Residential (TR)

Zoning Districts: D-SFR

Traditional Residential designated properties are generally located in areas proximate to existing residential uses. This land use type provides appropriate transitions along these shared edges. Residential types shall generally be limited to single family detached neighborhoods.

Traditional Suburban Residential (TR/SR)

Zoning Districts: D-SFR, A-SFR, RM-1-DMF, RM-1-MFR

Traditional Suburban Residential land use types shall represent a blend of single family and lower intensity multi-family residential. These use types are intended to provide transitional development types between traditional residential and higher intensity parcels proximate to the Loop 303 Freeway corridor.

Traditional Suburban Residential –

Commercial (TR/SR/C)

Zoning Districts: D-SFR, A-SFR, RM-1-DMF, O-1, C-2, C-5

Traditional Suburban Residential uses are limited to areas located proximate to existing residential but correlate with arterial intersections where opportunities for commercial uses exist.

Rural Residential – Commercial (RR/C)

Zoning Districts: D-SFR, O-1, C-2, C-5

The Rural Residential designation promotes lower density residential development or clustering of medium density residential in portions of the property where existing low-density development currently exists. These areas are typically constrained by existing site conditions and overall parcel size and will therefore allow for residential clustering opportunities to ensure the development viability. Limited commercial uses are also promoted due to parcel proximity to the freeway corridor.

Traditional Residential – Commercial (TR/C)

Zoning Districts: D-SFR, O-1, C-2, C-5

Traditional Residential - Commercial uses are limited to areas located proximate to existing residential with similar densities, and are typically located near arterial intersections where opportunities for commercial uses exist.

Suburban Residential Employment – (SR/E)

Zoning Districts: D-SFR, A-SFR, RM-1-DMF, RM-1-MFR, O-1, C-2, C-5, BPI, I-1

A portion of the property has been designated with the Suburban Employment land use designation with the intent to establish flexibility for employment or residential uses.

Mixed Use Village Center – Employment (MUVCE)

Zoning Districts: D-SFR, A-SFR, RM-1-DMF, RM-1-MFR, O-1, C-2, C-5, MU-V, MU-H, BPI, I-1

The Mixed Use Village Center – Employment land use type is depicted in areas where there is a desire to promote higher intensity land uses due to the proximity to the Loop 303 Freeway and other high capacity roadways. These areas will encourage employment and commercial land uses, along with higher density residential uses to support the mixed-use character of these areas. The landform of these areas is generally more conducive to higher intensity uses and allow for larger building footprints. Residential densities may exceed 20+ units per acre and shall encourage integration or association with non-residential uses.

4. PERMITTED, CONDITIONAL, AND ACCESSORY USES

Unless otherwise modified herein, permitted, conditional, and accessory uses shall comply with the City of Peoria Zoning Ordinance use allowances and limitations for the zoning district referenced on the final plat or site plan.

Land Uses Not Listed

All uses not specifically listed in this PCD are prohibited except that the Planning Manager may determine that a use not listed is comparable or analogous to a listed use and, once so determined, it shall be treated in the same manner as the listed use.

5. PROJECT DEVELOPMENT STANDARDS AND GENERAL PROVISIONS

A. Minimum Lot Area, Setbacks, Lot Coverage, and Building Height

The North Peoria Gateway PCD utilizes current City of Peoria zoning district development standards found within the City's zoning ordinance. Where necessary, deviations to the development standards have been made to support the future development vision for the property. Development standards for the Property are described in *Tables 2A & 2B: Development Standards*.

B. Open Space Requirements

Open space provision and programming shall be in conformance with the City of Peoria adopted requirements at the at the time of the PCD effective date or as otherwise permitted in the PADA.

C. Parking Standards

Parking and Loading requirements shall comply with the applicable standards of the City of Peoria Zoning Ordinance. For mixed use projects, a parking analysis may be conducted by a registered professional engineer to be submitted and reviewed through the site plan process to reduce standard requirements up to a maximum of 50% where shared parking is proposed as determined by the Planning Manager as provided in Section 21-825 of the Zoning Ordinance.

D. Landscaping

Unless otherwise modified herein, the Site shall comply with the landscaping requirements identified within the applicable City of Peoria Zoning Ordinance for the corresponding zoning district. MU-V projects with vertically integrated residential uses shall be required to provide a net 10% on-site landscaping. All other MU-V and MU-H projects shall be subject to the otherwise applicable Community Design Guidelines and Zoning Ordinance requirements for landscaping and open space.

E. Accessory Dwelling Units

ADU's will be permitted as provided in the applicable City of Peoria zoning ordinance.

F. Accessory Buildings and Uses

Except as modified in this PCD, accessory buildings and uses shall be permitted in accordance with applicable zoning district regulations under Section 21-803 of the Peoria Zoning Ordinance.

G. Lighting

Exterior lighting shall comply with City Code Sections 20-60 through 20-67.

H. Screening, Fencing and Walls

Screening shall comply with Section 21-804. All walls and fences shall comply with applicable City of Peoria Zoning Ordinance Section 21-805 Walls and Fences and with the applicable City of Peoria Community Design Guidelines.

I. Roadway Standards

Road classification and design shall be determined by the City of Peoria Engineering Standards or as approved by the City of Peoria Traffic Engineer.

J. Signs

All sign requirements shall be provided by the City of Peoria Zoning Ordinance Sections 21-827 through 21-837.

6. SECONDARY PLANNING

This section of the PCD outlines the responsibilities of the purchasers of property within the PCD with regard to the next level of planning that is required for the property. This next level of planning involves the preparation of a series of Master Plans by the initial purchaser of property within a Development Unit. The Master Plans to be prepared consist of the following:

1. Vehicular Circulation
2. Drainage
3. Water
4. Wastewater
5. Open Space, Recreation & Trails
6. Public Facilities

A. Process

The initial purchase of property within a Development Unit carries with it a requirement to prepare the above-listed Master Plans for the relevant Development Unit, and may be a lesser portion as agreed to by ASLD and the City if a functional segment is created that can be developed independently of the Development Unit. The Master Plans shall be prepared by registered professionals licensed to practice in the State of Arizona. All plans and applications submitted to the City for review must be accompanied by a Planning Authorization Letter from ASLD while ASLD retains any ownership within the planning area, as described in Section 7.

Applicants shall submit a pre-application and attend a pre-application meeting with Peoria staff prior to the submittal of the Master Plans to discuss the intent and scope of these Master Plans. The scope of the Master Plans will likely vary depending on the amount of land purchased. The overall intent of these Master Plans is to ensure that infrastructure constructed in the PCD is designed and sized to accommodate development of the Development Unit and the PCD at entitled densities and intensities. The Master Plans are intended to be preliminary in nature.

B. Master Plan Requirements

Below is a description of the information that is required to be included within the Master Plans. Please refer to the applicable portions of this PCD for additional guidance.

1. Circulation Master Plan

- Identification of arterial and collector roads intended to serve the parcel and Development Unit, including ultimate rights-of-way and level of improvements required to provide an acceptable level of service.
- Roadway design cross-sections.
- Proposed traffic control for intersections of arterial and collector roads.
- Traffic signal warrant analysis for the intersections of applicable arterial and collector roads.
- Conceptual phasing of road infrastructure improvements.
- Identification of offsite roadway infrastructure improvements that may be necessary to provide an acceptable level of service to development within the Parcel and Development Unit.
- Identification of roadway segments subject to Arizona Department of Transportation (ADOT) access control, or an access control variance from ADOT.

2. Drainage Master Plan

- Identification of all offsite watersheds affecting the site with 100-year discharges greater than 100 cfs.
- Identification of existing upstream drainage structures.
- Identification of areas of sheet flooding with average depths.
- Identification of federally mapped floodways and floodplains.
- Describe any encroachment or modification proposed to major drainage patterns.
- Describe and identify the location of proposed primary drainage infrastructure.
- Describe how the proposed development condition will adhere to the applicable floodplain and erosion hazard management policies and ordinances of the City of Peoria.

3. Water Master Plan

- Location and size of existing trunk water lines and other major water system infrastructure.
- Capacity response letter from the water service provider.
- Identification of pressure zones in the area immediate to the overall Development Unit.
- Location and size of proposed trunk water lines and other major water system infrastructure such as booster stations or pressure reducing valves necessary to serve the anticipated development within the Development Unit.
- Identification of points of connection to existing water lines.
- Location and size of proposed water line stubs that would serve parcels within the Development Unit.

4. Wastewater Master Plan

- Location and size of existing sewer lines.
- Capacity response letter from the wastewater treatment provider.
- Location and size of proposed trunk sewer lines and identification if they are designed for gravity flow.
- Identification of points of connection to existing sewer lines.
- Location and size of proposed sewer line stubs that would serve parcels within the Development Unit.

5. Open Space, Recreation & Trails Master Plan

- Location and area of the primary open space.
- Location of primary trail corridors within the Development Unit, and identification of connection points to Peoria's overall trail system.

6. Public Facilities Master Plan

Note: Necessary public facilities will be located within individual Development Units as needed. Their exact locations will be determined by developers of the Development Units in coordination with the applicable agency during the City's development review process.

- Schematic location and area of fire/police stations.
- Schematic location and area of school sites.
- Schematic location and area of municipal facilities.
- Schematic location and area of City parks.

7. PHASING & PROJECT IMPLEMENTATION

Project Governance

This PCD governs all development on the Property and to the extent that it is in conflict with any accompanying Development Agreement, the Development Agreement shall control. If the PCD and Development Agreement are silent as to an otherwise applicable zoning ordinance regulation, the zoning ordinance will control.

ASLD/Purchaser Role

The ASLD will identify land within this PCD for disposition within its sole and absolute discretion. Throughout the period when ASLD still holds Trust land within this PCD. The State Land Commissioner, or designee, shall designate allowable residential densities within any parcel to be auctioned within the PCD and ultimately reflected on *Exhibit 4: Land Use Budget Table* when the site plan or plat is submitted.

The ASLD will remain involved in land use decisions within the entire PCD until such time that ASLD no longer owns of any Trust land within this PCD. Until the last parcel is transferred out of ASLD ownership (a land patent issued), every PCD amendment and development application to the City for property within the PCD, including but not limited to General Plan amendments, rezoning, plats, site plans, and use permits must be accompanied by a Planning Authorization Letter issued by ASLD. Upon disposition of ASLD property, the first successors within a Development Unit will engage with the City and ASLD in a secondary planning process as provided in Section 6 of this PCD.

Amendments to the PCD

Future amendments to this PCD will be categorized as with Major or Minor as provided for in Section 21-612 of the Zoning Ordinance. Minor amendments will be processed as provided for in Section 21-612(E) but will not require the procedures provided for in Section 21-612(E)(1-3).

8. INFRASTRUCTURE / UTILITIES

Water & Wastewater

Systems and connections will meet applicable City or EPCOR requirements at the time of the PCD effective date or as otherwise permitted in the PADA, and be limited by the unit allocations by service area as shown in *Exhibit 4: Land Use Budget Table*.

Drainage

The Project will be designed to be in compliance with City of Peoria Engineering Standards Manual and other required drainage guidelines.

Roadways

The developer will dedicate right-of-way and construct roadway improvements to be in compliance with applicable City of Peoria Engineering Standards Manual, Codes and Ordinance unless otherwise approved by the City of Peoria Engineering Department. Roadway alignments and access has been generally illustrated on *Exhibit 3: Development Parcels* and shall be further refined during the forthcoming Master Plan process as referenced in Section 3 of this PCD. Additionally, individual Traffic Impact Analyses shall be provided at the time of each site plan submittal unless otherwise approved by the City Engineer.

TABLE 1: PERMITTED USES

Development Unit	Parcel	Gross Parcel Area	Land Use	Single Family		Multi-Family Residential		Non-Residential					
				R1-6 D-SFR DETACHED SINGLE FAMILY	RM-1 A-SFR ATTACHED SINGLE FAMILY	RM-1-DMF DETACHED MULTI-FAMILY	RM-1-MFR TRADITIONAL MULTI-FAMILY	O-1	C-2	C-5	MU-V / MU-H	BPI	I-1
1	A	62.1	TR	X									
	G	36.8	TR / SR	X	X	X	X						
	H	60.9	TR / C	X				X	X				
	J	28.5	TR / SR / C	X	X	X		X	X				
	K	17.8	TR / SR	X	X	X	X						
2	B	29.4	MUVC / E	X	X	X	X	X	X	X	X	X	X
	C	33.5	MUVC / E	X	X	X	X	X	X	X	X	X	X
	D	75.3	MUVC / E	X	X	X	X	X	X	X	X	X	X
	E	112	MUVC / E	X	X	X	X	X	X	X	X	X	X
	F	36.1	MUVC / E	X	X	X	X	X	X	X	X	X	X
	L	58.3	MUVC / E	X	X	X	X	X	X	X	X	X	X
	M	83.2	MUVC / E	X	X	X	X	X	X	X	X	X	X
	U	51.6	MUVC / E	X	X	X	X	X	X	X	X	X	X
	V	66.7	MUVC / E	X	X	X	X	X	X	X	X	X	X
3	W	40.1	MUVC / E	X	X	X	X	X	X	X	X	X	X
	X	31.9	MUVC / E	X	X	X	X	X	X	X	X	X	X
	Y	42.1	MUVC / E	X	X	X	X	X	X	X	X	X	X
	Z	18.3	MUVC / E	X	X	X	X	X	X	X	X	X	X
	AA	23.9	TR / SR	X	X	X	X						
4	BB	31.6	SR / E	X	X	X	X	X	X	X		X	X
	CC	29.7	SR / E	X	X	X	X	X	X	X		X	X
	DD	54.5	SR / E	X	X	X	X	X	X	X		X	X
	EE	51.6	SR / E	X	X	X	X	X	X	X		X	X
	FF	50.8	TR	X									
5	N	46.8	MUVC / E	X	X	X	X	X	X	X	X	X	X
	O	54.8	MUVC / E	X	X	X	X	X	X	X	X	X	X
	Q	100.3	MUVC / E	X	X	X	X	X	X	X	X	X	X
	I	4.7	TR / SR / C	X	X	X		X	X	X			
	R	101.1	MUVC / E		X	X	X	X	X	X	X	X	X
6	S	72.6	MUVC / E	X	X	X	X	X	X	X	X	X	X
	T	47.8	TR / SR	X	X	X							
	GG	24.3	TR	X	X	X							
	P	39.6	RR / C	X	X	X		X	X	X			

Notes:

1. Parcel Q - Residential uses are restricted for a period of 10 years from date of PCD approval, except that residential uses may be included as part of an MU-V development. After 10 years, or 175,000 square feet of nonresidential uses are constructed on that parcel, whichever is earlier, residential uses may be included in both MU-H and MU-V developments.
2. Parcels C & D - Except by mutual agreement of the State Land Commissioner and Peoria City Manager, residential uses are prohibited for a period of 15 years from the effective date of the PCD. After the 15 years, if no advanced manufacturing, packaging, warehousing, distribution use or similar employment-focused use over 20 acres has received construction permits on Parcels D15-18 of the Vistancia Core (as depicted in Exhibit F of the Proposed Land Use Plan, dated October 2023), residential may be permitted on Parcels C and D.
3. Parcel P - Allow for single family residential and detached multi-family uses with a maximum overall density up to 1.0 du/ac.
4. Parcel R - Residential uses shall not be permitted within 2,640 feet of the southern property line. No single family detached (D-SFR) uses shall be allowed within any portion of the parcel.
5. Permitted uses within MU-V and MU-H shall permit all uses in C-2, C-5, RM-1-DMF and RM-1-MFR.
6. Aggregate Mining Operations are principally permitted within Development Unit 4 where such operations exist under a lease with ASLD as of the effective date of this PCD. The City recognizes these existing operations as principally permitted uses that may continue to occur on the Property, but will not be permitted to expand onto other properties within Development Unit 4.
7. Renewable energy and battery energy storage system projects (BESS) shall be principally permitted in Parcels R & S, and subject to a conditional use permit in other locations within the PCD where BPI and I-1 uses are permitted.
8. All Boat and RV Storage, as well as Self-Storage, Indoor and Drive-Up uses are principally permitted in Parcels P, S, V through Z, and BB through EE except that such use (a) is limited to one use per Parcel and (b) the parcel must not be located within 200 feet of a residential district within the City (except for parcels within the PCD). Self storage uses within these enumerated parcels are also exempt from Section 21-505.D.1.c of the Zoning Ordinance.

TABLE 2A & 2B: DEVELOPMENT STANDARDS

2A: DEVELOPMENT STANDARDS FOR RESIDENTIAL DISTRICTS	D-SFR(I)	A-SFR	RM-1-DMF	RM-1-MFR
	SINGLE FAMILY RESIDENTIAL		"DETACHED MULTI-FAMILY"	"ATTACHED MULTI-FAMILY"
Minimum Lot Area (SF)	5,000	1,200	N/R	N/R
Minimum Lot Width (FT)	45 ⁽²⁾	20	N/R	N/R
Minimum Lot Depth (FT)	N/R	N/R	N/R	N/R
Maximum Lot Coverage (%)	55%	85%	N/R	N/R
Maximum Building Height FT	30	30	30	60 ⁽³⁾
Front Setback (FT):			20	20
Side-entry garage	10	N/R	-	-
Front-facing garage	20	3 or 20 ⁽⁴⁾	-	-
Side Setback	-	-	20(4)	20(4)
Interior Setback (min/total FT)	5/10	5(5)	-	-
Corner Setback (FT)	10	10	15(4)	15(4)
Rear Setback (FT)	15	0	15	15
Maximum Density (du/ac)	N/R	N/R	N/R	N/R

Table 2A Notes:

- (1) D-SFR development standards, where not modified herein shall be subject to R1-6 standards per the City of Peoria Zoning Ordinance.
- (2) Except for Parcels K, P, and GG no more than 50% of lots within a D-SFR development unit may be a minimum of 45 feet in width. A minimum of 50% of lots shall be 50' or greater in lot width.
- (3) Building Height: Maximum thirty (30) feet high within thirty (30) feet of any Single-Family Residential District. The height may be increased by one (1) foot per each three (3) feet of additional setback to a maximum of 60-feet.
- (4) For condominium and attached housing types only building separation applies.
- (5) Driveway depth must be less than 3' or greater than 20' as measured from the back of sidewalk, or back of curb if a sidewalk is not provided. Architectural elements, such as pop-outs and overhangs, may encroach into the front building setback up to 3'.

2B: DEVELOPMENT STANDARDS FOR NON-RESIDENTIAL DISTRICTS	O-1	C-2	C-5	MU-V ⁽³⁾	MU-H ⁽³⁾	BPI	I-1
	OFFICE AND COMMERCIAL USES					BUSINESS PARK & INDUSTRIAL USES	
Minimum Lot/Site Area (AC)	N/R	N/R	N/R	N/R	N/R	N/R	N/R
Minimum Lot Width (FT)	N/R	N/R	N/R	N/R	N/R	80	80
Minimum Lot/Site Depth (FT)	N/R	N/R	N/R	N/R	N/R	N/R	N/R
Minimum Frontage on One Arterial (FT)	N/R	N/R	N/R	N/R	N/R	N/R	N/R
Maximum Lot Coverage (%)	N/R	N/R	N/R	N/R	N/R	N/R	N/R
Maximum Building Height (FT) ⁽¹⁾⁽²⁾⁽⁴⁾	36	48/56	56/72	56/90	56	56/90	56/90
Arterial Street Side Setback (FT)	15	15	30	30	30	30	30
Other Street Side Setback (FT)	15	15	15	15	15	20	20
Interior Rear/Side Setback (FT)	N/R	N/R	N/R	N/R	N/R	N/R	N/R
Least Side (FT)	-	-	-	-	-	20	0
Total Sides (FT)	-	-	-	-	-	40	20
Setback from Residential Zones (FT) ⁽⁵⁾	30	30	120	20	20	30	50

Table 2B Notes:

N/R = No Minimum Requirements

- (1) Non-Residential Districts in Parcels P and H shall be limited to 48 feet in height.
- (2) For Parcels east of Vistancia Boulevard and also Parcels R and S, the Maximum Building Height shall be limited to the lower value at the Arterial Street Setback line, and the maximum building height may be achieved by providing an additional setback of one (1) foot for each additional foot of building height, up to the maximum height permitted within the zoning district.
- (3) Subject to all applicable building and fire codes; standards applicable for proposals submitted concurrently to the City as a unified mixed use development concept.
- (4) On Parcels B, F, L, and N: The maximum building height for MU-V, BPI and I-1 districts shall be limited to 56 feet. Additionally, medical uses permitted within the C-5 District may achieve the upper value for maximum height, provided at the Arterial Street Side Setback Line, the building height is increased by one (1) foot for each additional foot of Arterial Street Setback up to the maximum height permitted within table 2B.
- (5) Setback is applicable when parcel adjoins a residential zoning district outside of this PCD boundary.

EXHIBIT 1: VICINITY MAP

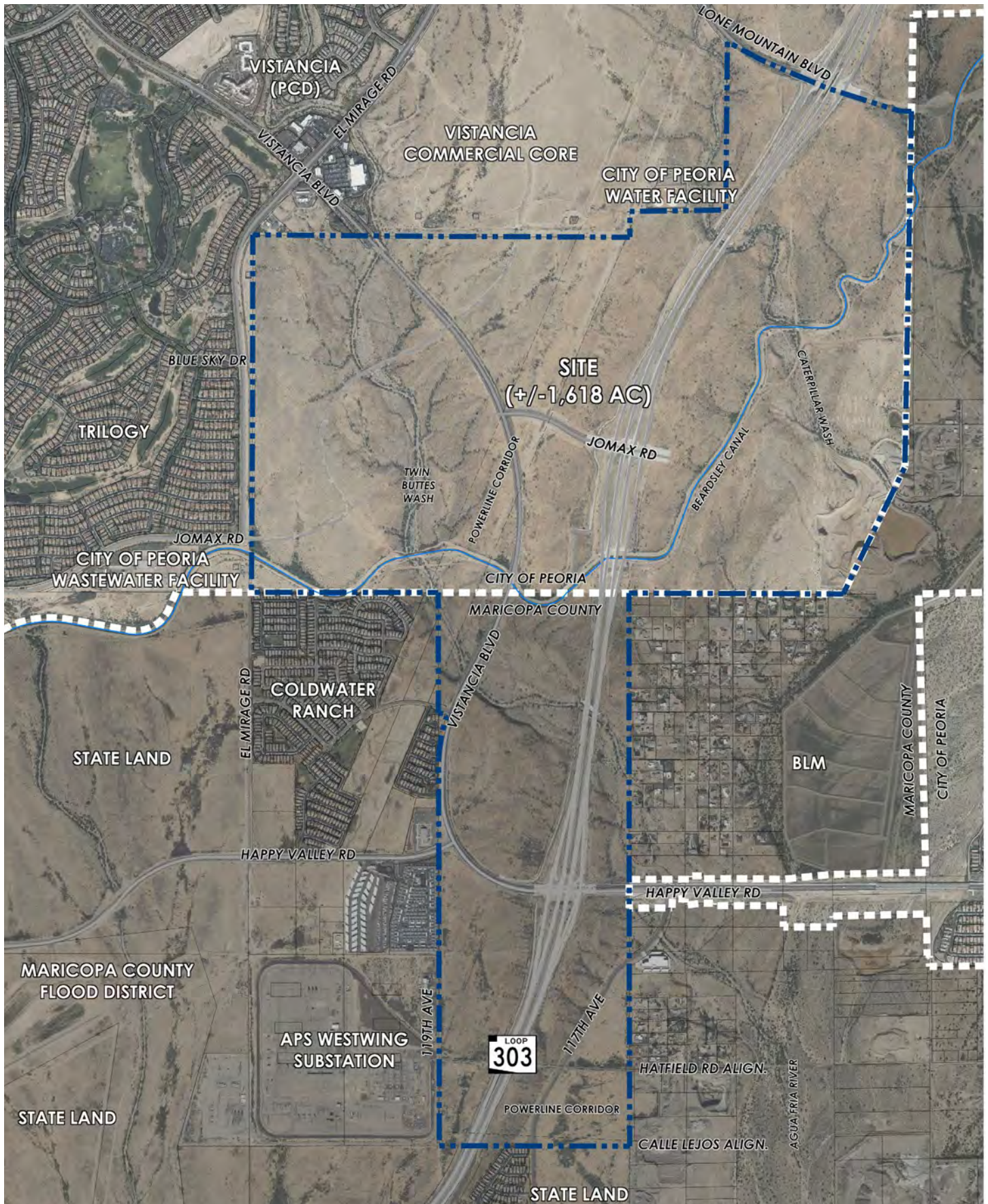


EXHIBIT 2: DEVELOPMENT UNITS PLAN

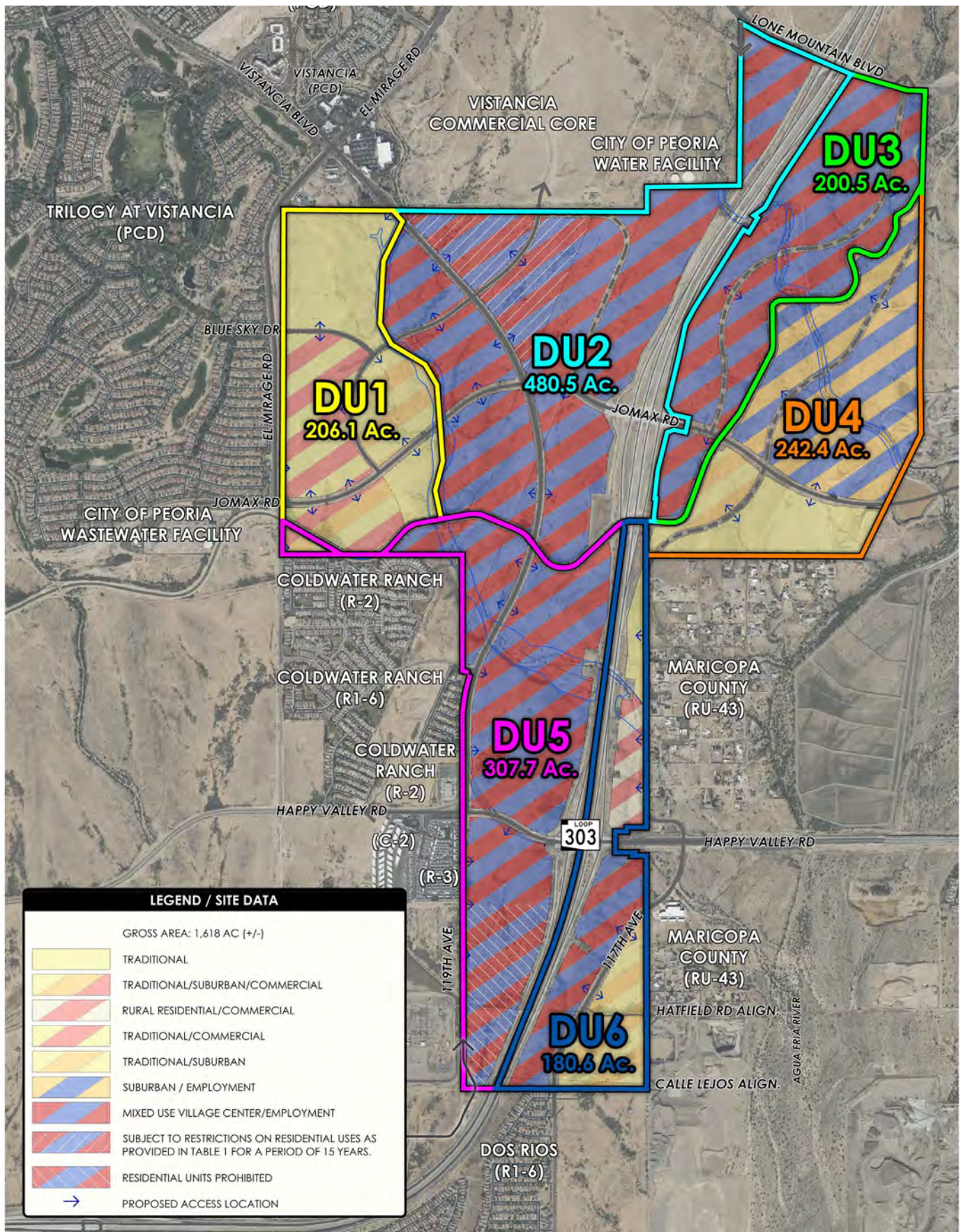


EXHIBIT 3: DEVELOPMENT PARCELS

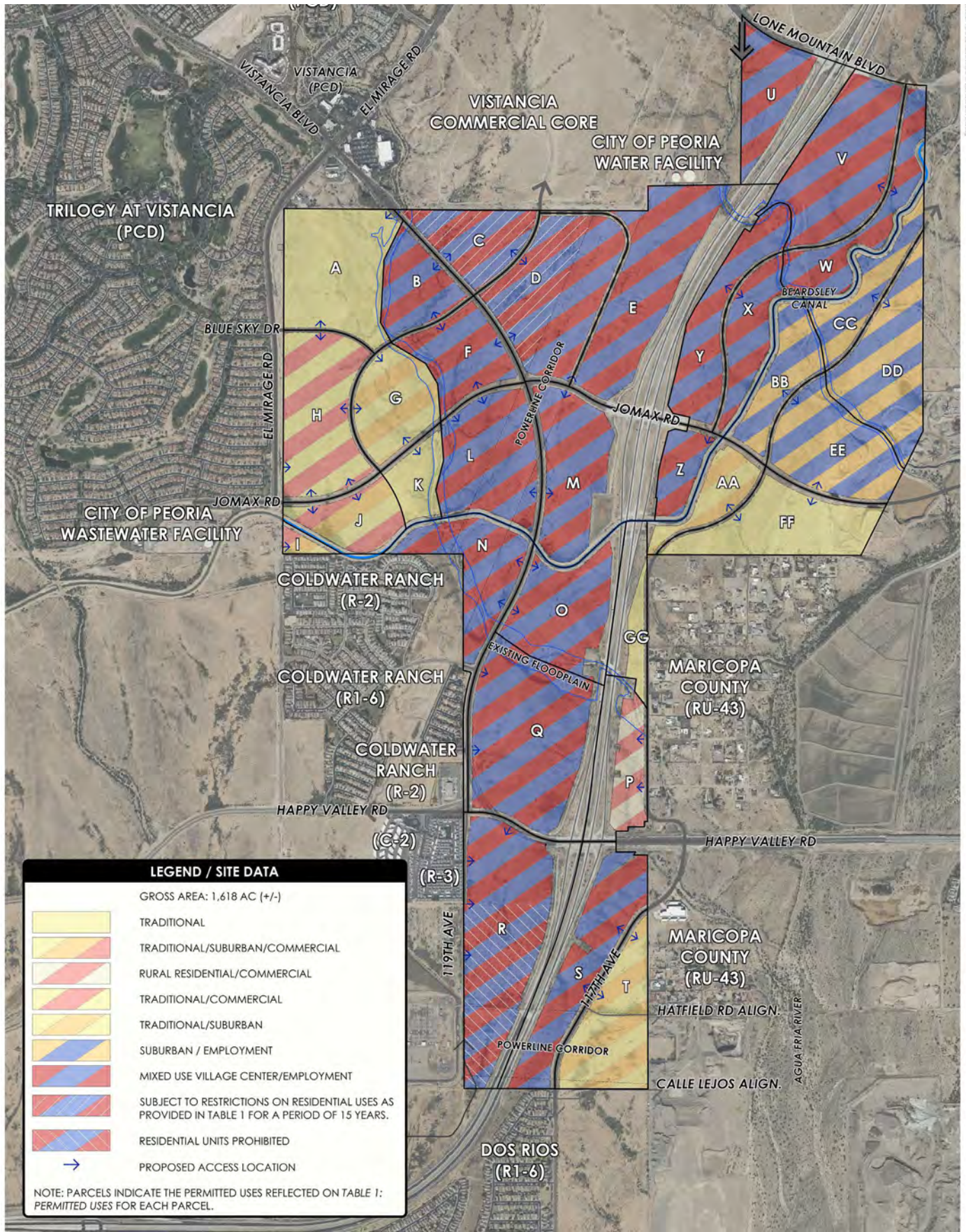


EXHIBIT 4: LAND USE BUDGET TABLE

Water & Wastewater Service Area (WSA)	WSA Max DU	Development Unit	Parcel	Residential Units Approved To-Date	Date Of Update
Peoria	10,189	1	A		
			G		
			H		
			J		
			K		
		2	B		
			C		
			D		
			E		
			F		
			L		
			M		
			U		
		3	V		
			W		
			X		
			Y		
			Z		
		4	AA		
			BB		
			CC		
			DD		
			EE		
			FF		
EPCOR	See Note (1)	5	N		
			O		
			Q		
			I		
			R		
		6	S		
			T		
			GG		
			P		

TOTAL RESIDENTIAL UNITS ALLOWED IN PCD:

13,989

TOTAL RESIDENTIAL UNITS APPROVED-TO-DATE:

0

TOTAL REMAINING ALLOWABLE RESIDENTIAL UNITS: ⁽²⁾

13,989

Notes:

(1) If the maximum dwelling unit cap for the City of Peoria service area is not met at project buildout, any remaining units may be transferred to the Epcor Service area where residential uses are permitted and provided that Epcor has capacity to serve those units.

(2) Units associated and entitled with any proposed development plan that fails to transfer out of ASLD's ownership (issued a land patent) shall be returned to the Land Use Budget Table following notice to the city by ASLD.